



Design Review Board

Regular Meeting
<http://www.roswellgov.com/>
~Agenda~

Chair Jeffrey Green
Vice Chair Mark Stovall
Board Member Ian Atkinson
Board Member Michael Guobaitis
Board Member Arie Kohn
Board Member Phiffer Reed

Tuesday, December 9, 2025

6:30 PM

City Hall - Council Chambers

**** Possible Quorum of Mayor and City Council ****

Welcome

I. Call to Order

II. Initial

1. **ZDRB-1125-000012 - 9135 Willeo Road - Chattahoochee Nature Center - Phase 2**

III. Discussion

2. **ZUSE-1025-000001 - 1050 Holcomb Bridge Road - QuikTrip Conditional Use**

IV. Calendar

3. **2026 DRB Meeting Dates**

V. Approval of Minutes

4. **November 6, 2025 DRB Minutes**

VI. Adjournment



City of Roswell
Design Review Board
AGENDA ITEM REPORT

ID # - 10208

MEETING DATE: December 9, 2025

DEPARTMENT: Design Review Board

ITEM TYPE: Public Hearing

ZDRB-1125-000012 - 9135 Willeo Road - Chattahoochee Nature Center - Phase 2

Item Summary:

The applicant, Chattahoochee Nature Center, is currently in a phased site improvement project. They are requesting approval for Phase 2, which includes new construction and site work.

Committee or Staff Recommendation:

Item is being heard as an initial

Financial Impact: N/A

Recommended Motion:

This application is being heard as an initial at the December 9, 2025 DRB meeting. If the board chooses to hear this item as a final at this first meeting, staff has the following recommendations:

1. All staff comments must be addressed at requisite permit stage.

Presented by:

Kristen Thomasberger, Planner II

Petition No. ZDRB-1125-000012

Property Location	9135 Willeo Road
Zoning	REC- Parks and Recreation
Applicant	Chattahoochee Nature Center
Request	New Construction of a Building Addition and Site Work- Phase II

Please note: This application was originally submitted as an administrative DRB application (ZDRB-1026-000006). Due to the scope of work, the UDC (section 13.6), required the applicant to resubmit the application as a DRB major after the first review period. This agenda packet will include the plan review comments for both ZDRB-1025-000006 (Admin application) and ZDRB-1125- 000012 (Major application). This application has been reviewed by all required reviewers.

Background

The applicant, Chattahoochee Nature Center, is currently in a phased site improvement project. They are requesting approval for Phase 2, which includes new construction and site work. On the provided site plan these different phases are notated and some information includes work that spans both phases. Phase 1 has already been approved as an administrative DRB application and the proposed work included building renovations to the existing maintenance building for a new learning center, tree removal and a concrete walk addition. The phase under review as a DRB major is Phase 2 and has a larger scope of work that includes a proposed 4,900 square foot building expansion to the Kingfisher Hall building which will include an expansion to the gymnasium and a new Welcome Center, exterior changes to the existing Kingfisher hall, and demolition of the existing plaza conference room building. Additionally, the applicant is proposing 5,815 square feet of site work including new concrete walks, pedestrian paths, fence and gate, retaining walls, exterior concrete steps, and an above ground water basin for water collection. Chattahoochee Nature Center is located in the Chattahoochee River Corridor and is subject to Metropolitan River Protection Act (MRPA) restrictions set by the Atlanta Regional Commission. Chattahoochee Nature Center received a MRPA certificate in 2020 which allows a total of 6.54 acres of impervious area. There is an existing 6.08 acres of impervious area existing on site and after phase 1 and phase 2 there will be a total of 6.11 acres of impervious area, which is under the maximum MRPA allowance.

Site Analysis

Chattahoochee nature Center is a nature recreation center encompassing 18.86 acres along Willeo Road and Azalea Drive. The Inverness subdivision, an RS-18 single family home subdivision, surrounds the nature center to the north, east and west. To the South, across Willeo Road, is the Chattahoochee river, Roswell Riverwalk boardwalk, and a conservation area. The proposed site work and building addition are located on the portion of the site that has previously been developed, has existing buildings, walkways and a parking lot. The proposed projects will not change the existing natural buffer between the single family subdivision and the nature center.

The proposed project includes 5,815 square feet of proposed site work, including a new concrete walk and concrete stairs that will increase pedestrian connectivity between the rear portion of Kingfisher hall, the new Welcome Center, Gymnasium and the Meadow Learning Center (formerly the maintenance building). The main entrance of the Welcome Center addition will include a new concrete walk from the parking lot and concrete stairs. The site work area in front of the new main entrance also includes a 3 foot retaining wall for a landscape garden. To the southeast, of the new building addition, an existing service drive will be removed and relocated, the drive will have a six (6) foot tall sliding screen gate for access. The gate will be connected to a freestanding concrete wall that will match the building exterior. A five (5) foot metal fence will also be added behind the new concrete wall and will tie into the existing fence on the site.

The proposed site work will include new landscaping around the building's main entrance and the meadow (area to the rear of Kingfisher hall). In the main entrance area, plant material will include shrubs, aquatic plant material and ground cover. In the meadow, the new concrete walk will be surrounded by native Georgia wildflower mix. The underground stormwater management area, located in the meadow, will be covered with sod. For the phase 1 and phase 2 portions of the project, the applicant is proposing to remove a total of seventeen (17) trees, including three (3) specimen trees which will be replaced by six (6) new six (6) inch caliper trees, meeting the required specimen tree recompense requirements.

Elevations and Materials of Proposed Building Addition

The applicant is proposing an exterior renovation to the existing Kingfisher Hall as well as a 4,900 square foot building addition, to the side and rear, for a new Welcome Center and gymnasium expansion. Proposed materials include: wood siding (Frasier Gray), smooth grain board and batten cement siding (painted Pearl Grey), aluminum storefront (Dark Bronze), exposed steel columns and beams (painted Dark Gray), Thermoplastic Polyolefin (TPO) roofing, Mass timber roof- CLT roof panels and bird safe glazing. The proposed addition will be one story and will not be as tall as the existing Kingfisher Hall building with a maximum height of twenty (20) feet six (6) inches. The addition will feature a wood framed butterfly roof with a rain chain water feature, windows that extend from grade to the roof on the main entrance of the new addition as well as

portions of the east and west elevations, and a mixture of both cedar siding and cementitious board siding. The Kingfisher Hall renovation will include a new metal door, cementitious board on knee wall and storefront glazing. There will be no other changes to the existing design of Kingfisher Hall.

West Elevation (Kingfisher hall and Welcome Center Main Entrance)

The west elevation will feature the new main entrance to the proposed twenty (20) foot six (6) inch tall welcome center. This addition will be attached to the existing Kingfisher hall which is located adjacent to the parking lot. On this elevation, at the downward pointed eave on the butterfly roof, there will be a water feature from the roof to a above ground catch basin with aquatic plants. The front façade of the addition will have cementitious board and cedar siding as well as windows extending from grade to roof with a metal awning over the new storefront entry doors. On this elevation Kingfisher hall will have a new hollow metal door and frame added to the existing building. The elevation will abut the proposed new welcome plaza garden and concrete path and three (3) foot retaining wall.

South Elevation (Welcome Center facing service drive)

The south elevation, which faces the new service drive, will continue the proposed mix of cedar siding, windows, and cementitious board on the building façade. The butterfly roof will be level along this elevation. The proposed freestanding concrete wall and gate for the service drive will abut the addition and the concrete material will be painted to match the proposed building façade.

East Elevation (Welcome Center rear, gymnasium expansion and Kingfisher Hall)

The south elevation, which faces the meadow, will continue the proposed mix of cedar siding, windows, and cementitious board on the building façade. The butterfly roof over the Welcome Center addition will be sloped along this elevation and the TPO roof, above the gymnasium expansion, will be level. At the point where the new addition and existing Kingfisher Hall meet will be a cedar siding transition between the windows on the gymnasium and the existing siding on Kingfisher Hall. This elevation will give access to the new pedestrian connection to the Meadow learning center with concrete steps leading to the new paths.

The proposed design of the site and building also meets the design guidelines for Civic and Institutional buildings in a residential area. UDC design guidelines 2.1 & 2.5 state:

Design Guidelines for Residential & Civic Districts

2.1 Provide a circulation system to promote pedestrian access across a site and connect with adjacent amenities.

- a. Design on-site pedestrian connections to provide recreational opportunities in Residential and Civic districts.
- b. Direct a walkway through outdoor open spaces or natural areas where they adjoin a residential development.
- c. Provide path or sidewalk connections to adjacent commercial or mixed-use areas.

2.5 Use compatible, high-quality materials with proven durability in the Roswell climate.

- a. Use durable materials, such as brick, where possible.
- b. Incorporate accent materials such as metal, stone and concrete.
- c. Stucco may be considered for smaller residential buildings or as an accent on larger buildings.
- d. Limit the use of imitation materials, such as synthetic lap siding, synthetic stucco (EIFS), panelized brick or stone veneer. Such materials may be appropriate as accents or on upper floor façades.
- e. Do not use highly reflective materials.

This application is being heard as an initial at the December 9, 2025 DRB meeting. If the board chooses to hear this item as a final at this first meeting, staff has the following recommendations:

1. All staff comments must be addressed at requisite permit stage.

Attachments

Staff review comments, letter of intent, site plan, civil plans, elevations, material samples, and application.



SUBMITTAL SUMMARY REPORT (ZDRB-1025-000006) FOR CITY OF ROSWELL, GA

PERMIT ADDRESS: 9135 Willeo Road
Roswell, GA 30075

PARCEL: 12 -1730-0270-023-5

APPLICATION DATE: 10/30/2025

EXPIRATION DATE: 10/30/2026

SQUARE FEET: 0

VALUATION: \$4,681,527.00

DESCRIPTION:

This letter expresses our intent to review the proposed project in preparation for securing a permit for Phase 2 of the renovations and associated sitework at Chattahoochee Nature Center (CNC). Phase 2 of the renovations will be divided into phase 2A and 2B as described below. Total proposed new construction is 4,900 sf.

Scope of Work - Phase 2A:

- ☐ Renovation of the existing gymnasium of Kingfisher Hall:
 - o Demolition of restrooms at the rear of the gymnasium (new restrooms under separate permit in process), upgrading the fire rating of the corridor wall to a 1 hour rated wall, providing a fire suppression system, new storage closets, suspended ceiling replacement, retrofitted HVAC system, new light fixtures, refinishing the existing exposed concrete floor.
- ☐ Demolition of Plaza Conference Room Building
- ☐ Addition to Kingfisher Hall:
 - o 3,500 sf Chattahoochee River Welcome Center structure and enclosure, which includes the new sprinkler riser room supporting both the new building and the renovated gymnasium.
 - o 1,400 sf addition to Kingfisher Hall gymnasium.
 - o New HVAC and sprinkler systems serving both the existing gymnasium and new additions to be installed allowing CNC to obtain a phased occupancy for the renovated gymnasium prior to the completion of phase 2B. This is critical for CNC as it will allow for their summer camps and school programs to restart sooner, which is their major funding source and allows for an uninterrupted service they provide the metro Atlanta community.

Scope of Work - Phase 2B:

- Complete construction of the new 3,500 sf Chattahoochee River Welcome Center addition and 1,400 sf addition to Kingfisher Hall.
- o A lobby space to accommodate pre-function and ticketing activities, conference room, administration offices, warming kitchen, HVAC fire suppression systems, and restrooms.
- o The roof structure is a two-story height mass timber butterfly roof composed of a thermoplastic polyolefin roofing membrane on cross laminated timber roof panels supported by laminated veneer lumber joists on steel beams and columns. Other portions of the roof not visible from the front entry will be low slope thermoplastic polyolefin roofing on wood decking and trusses.
- o The exterior facade will be comprised of curtainwall and storefront systems, nickel gap cedar siding, and painted cementitious board the base. The siding is intended to match the cedar siding in Phase 1 of the project (Meadow Learning Center).
- Sitework associated with the new additions and selective clearing and reshaping of topography in the Meadow Commons. Included in this sitework will be an above ground water basin outside the main entry of the Chattahoochee River Welcome Center for water collection from the runoff of a butterfly roof to be used as a decorative water garden.

Please feel free to reach out with any questions, and we look forward to your comments.

CONTACTS	NAME	COMPANY	ADDRESS
Applicant	Stephen Cook		1819 Peachtree Rd. NE Suite 102 Suite 102 Atlanta, GA 30309
Owner	Natasha Rice	Chattahoochee Nature Center	
Representative		HOUSER WALKER ARCHITECTURE	1819 PEACHTREE STREET SUITE 102 ATLANTA, GA 30309

Attachment: 1_Staff Report (Initial) and review comments (ZDRB-1125-000012 - 9135 Willeo Road - Chattahoochee Nature Center)

SUBMITTAL SUMMARY REPORT (ZDRB-1025-000006)

2.1.a

CONDITION	DESCRIPTION	CREATED BY	CREATED ON	COMMENTS	SATISFIED
General Condition	<p>This approval is for DRB only. A building permit must be applied for and approved before any work can begin. Plans shall be submitted in accordance with the 2024 Life Safety Code for Fire Marshal's Office review. Plans reviewed by Robert Major rmajor@roswellgov.com 770-594-6263.</p> <p>The Roswell Fire Marshal's Office has reviewed the plans and specifications in accordance with the applicable state adopted minimum Fire Safety Standards in effect at the time of review. Every effort was made to check for code compliance. However, this does not relieve the owner, contractor, architect or any other responsible party from compliance with the items missed or unknown to the reviewer. Any changes or modifications in approved plans shall be reviewed by the City of Roswell prior to making the changes.</p>	Robert Major	11/19/2025		Yes

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
Design Review v.				Not Received
Design Review v.	10/31/2025	11/17/2025	11/19/2025	Requires Re-submit

SUBMITTAL DETAILS

Design Review v.2

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Building Division (Building Division)	Don Fouts	11/17/2025	11/13/2025	Approved with Comments
Comments	Please apply for a building permit after DRB approvals are obtained.			
Engineering (Engineering)	Lee Smith	11/17/2025	11/14/2025	Requires Re-submit
Corrections	General (Not Resolved) - Identify unlabeled features on the site plan.			
Corrections	General (Not Resolved) - Clarify whether all trees shown on the plan are existing, and if not, differentiate between existing and proposed trees.			
Corrections	General (Not Resolved) - Clarify whether gravel drive shown on the site plan is existing or proposed.			
Corrections	General (Not Resolved) - Clarify whether concrete walks shown on the site plan are existing or proposed.			
Corrections	General (Not Resolved) - Show and label any proposed retaining walls, or if no retaining walls are proposed, state that on the plans			
Corrections	General (Not Resolved) - Ensure site plan north arrow is referenced to State Plane Georgia West and state the same on the plan.			
Corrections	General (Not Resolved) - Clearly identify proposed limits of disturbance.			
Corrections	General (Not Resolved) - Show all parcel boundaries, right-of-way lines and/or easement lines located within the site plan viewport and call out range and bearing for each line segment.			
Corrections	General (Not Resolved) - Show proposed grading contours, or if no grading is proposed, state that on the plans.			
Corrections	General (Not Resolved) - Show at least two benchmarks or control points with coordinates referenced to State Plane Georgia West.			
Corrections	General (Not Resolved) - Provide a project location map inset on the site plan, showing sufficient information for the reviewer to understand where the site is located relative to at least one major intersection.			
Corrections	General (Not Resolved) - Provide a topographical survey of existing conditions, including labeled elevation contours, parcel boundaries, and utilities both inside the project limits and immediately adjacent to the project limits.			
Fire (Fire)	Robert Major	11/17/2025	11/19/2025	Approved
Comments	<p>This approval is for DRB only. A building permit must be applied for and approved before any work can begin. Plans shall be submitted in accordance with the 2024 Life Safety Code for Fire Marshal's Office review. Plans reviewed by Robert Major rmajor@roswellgov.com 770-594-6263.</p> <p>The Roswell Fire Marshal's Office has reviewed the plans and specifications in accordance with the applicable state adopted minimum Fire Safety Standards in effect at the time of review. Every effort was made to check for code compliance. However, this does not relieve the owner, contractor, architect or any other responsible party from compliance with the items missed or unknown to the reviewer. Any changes or modifications in approved plans shall be reviewed by the City of Roswell prior to making the changes.</p>			
P&Z DRB (Planning & Zoning)	Kristen Thomasberger	11/17/2025	11/14/2025	Requires Re-submit
Comments	Must be resubmitted as a DRB Major application			
Corrections	General (Not Resolved) - Scope of work requires application to go to the full DRB for approval as a DRB application. After this plan review cycle a new application needs to be created for a DRB Major.			
Sanitation (Sanitation)	Nick Pezzello	11/17/2025	11/03/2025	Approved

Attachment: 1_Staff Report (Initial) and review comments (ZDRB-1125-000012 - 9135 Willeo Road - Chattahoochee Nature Center)

SUBMITTAL SUMMARY REPORT (ZDRB-1025-000006)

2.1.a

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Stormwater (Stormwater)	Adam Watts	11/17/2025	11/12/2025	Requires Re-submit
Comments	Reviewer: Adam Watts awatts@roswell.com 770-641-3711 1. Provide the total replacement and new impervious. Site plans only show the new impervious total. 2. The new impervious total is shown as 4,900sf, but the permeable pavers are not included in the total nor was the total replacement impervious. These items may increase the total impervious surface over 5,000sf. 3. Provide a full hydro report if the total impervious is over 5,000sf. 4. Provide the required runoff reduction volume and the provided runoff reduction volume. Show the calculations. 5. Provide the storage calculations for the permeable pavers. 6. Provide the cross section for the permeable pavers and a detail. 7. The City of Roswell allows permeable pavers to be 40% impervious which is in line with the blue book. "For the purpose of sizing downstream conveyance and structural control system, permeable paver surface areas can be assumed to be 40% impervious. In addition, credit can be taken for the runoff volume infiltrated from other impervious areas using the methodology described in Section 3.1." 8. Additional comments will follow once the site plans are submitted for an LDP. 9. Storm pipes and storm inlets are shown but how and where will they discharge? 10. Permeable pavers must be install 10' away from structures and buildings. 11. Storm pipes are shown under the permeable pavers located in the front. 12. Provide additional information for the proposed storm pipes and structures.			
Transportation (Transportation)	Serge Osse	11/17/2025	11/13/2025	Approved with Comments
Comments	No comment. (Streetscape along the river, opposite side of this site, is already in place)			
Tree (Tree)	Laura Sommet	11/17/2025	11/13/2025	Requires Re-submit
Comments	See corrections and plan markups - On the Tree Protection Plan and Tree Replacement Plan, please show the 'TP' tree protection fence on the plans. For the specimen tree removal table shown, this shows replacement inches not TDU. 4" cal trees = 1.5 TDU. Therefore, (4) x 1.5 TDU = 6 TDU. Still need at least 6.6 TDU or (5) more 4" caliper trees to meet specimen tree TDU removal (UDC Article 12.1.3.B.4) or provide and show specimen tree recompense calculations.			
Corrections	General (Not Resolved) - See corrections and plan markups - On the Tree Protection Plan and Tree Replacement Plan, please show the 'TP' tree protection fence on the plans. Revise the specimen tree removal table. It shows replacement inches not TDU. 4" caliper replacement trees = 0.9 TDU. Therefore, (4) x 0.9 TDU = 3.6 TDU. Still need at least 9 TDU or (10) more 4" caliper trees, example, to meet specimen tree TDU removal (UDC Article 12.1.3.B.4 and 12.1.6.) or provide and show specimen tree recompense calculations.			
Water (Water)	Chris Boyd	11/17/2025	11/03/2025	Review Not Required
Comments	This is on Fulton County's Water System. Fulton County will need to approve the Water Line Plan Sheet(s) and Details. Contact Fulton County at 770 640-3040.			
eREVIEW SESSION FILES:				
251027 KF-RWC_DRB combined.pdf 251027 KF-RWC_DRB material samples page.pdf 251027 KF-RWC_DRB site plan.pdf 251030 KF-RWC_DRB elevations.pdf 251030_CNC LOI_Phase 2.pdf				
REVIEWER	MARKUP	DATE/TIME	FILE NAME	PG #
ldadisman	show tree protection fence on the plan	11/13/2025 3:19	PM251027 KF-RWC_DRB combined.pdf	
ldadisman	This shows replacement inches not TDU. 4" cal trees = 0.9 TDU. Therefore, (4) x 0.9 TDU = 3.6 TDU. Still need at least 9 TDU or (10) more 4" caliper trees to meet specimen tree TDU replacement (UDC Article 12.1.3.B.4) or provide and show specimen tree recompense calculations.	11/13/2025 3:20	PM251027 KF-RWC_DRB combined.pdf	
ldadisman	(4) 4" caliper replacement trees = 3.6 TDU. Provide (10) more 4" caliper trees to meet specimen tree TDU removal of 12.6 (UDC Article 12.1.3.B.4) or provide and show specimen tree recompense calculations.	11/13/2025 3:30	PM251027 KF-RWC_DRB combined.pdf	
lsmith	CLARIFY WHETHER CONCRETE WALKS SHOWN ARE EXISTING OR PROPOSED	11/14/2025 8:34	PM251027 KF-RWC_DRB site plan.pdf	
lsmith	IDENTIFY UNLABELED FEATURES	11/14/2025 8:35	PM251027 KF-RWC_DRB site plan.pdf	
lsmith	IDENTIFY UNLABELED FEATURES	11/14/2025 8:54	PM251027 KF-RWC_DRB site plan.pdf	
lsmith	CLARIFY WHETHER GRAVEL DRIVE SHOWN IS EXISTING OR PROPOSED	11/14/2025 8:56	PM251027 KF-RWC_DRB site plan.pdf	
lsmith	IDENTIFY UNLABELED FEATURES	11/14/2025 9:00	PM251027 KF-RWC_DRB site plan.pdf	
lsmith	CLEARLY IDENTIFY PROPOSED LIMITS OF DISTURBANCE	11/14/2025 9:06	PM251027 KF-RWC_DRB site plan.pdf	

Attachment: 1_Staff Report (Initial) and review comments (ZDRB-1125-000012 - 9135 Willeo Road - Chattahoochee Nature Center)



SUBMITTAL SUMMARY REPORT (ZDRB-1125-000012) FOR CITY OF ROSWELL, GA

PERMIT ADDRESS: 9135 Willeo RD
Roswell, GA 30075

PARCEL: 12 -1730-0270-023-5

APPLICATION DATE: 11/21/2025

EXPIRATION DATE: 11/21/2026

SQUARE FEET: 0

VALUATION: \$4,681,527.00

DESCRIPTION:

This letter expresses our intent to review the proposed project in preparation for securing a permit for Phase 2 of the renovations and associated sitework at Chattahoochee Nature Center (CNC). Phase 2 of the renovations will be divided into phase 2A and 2B as described below. Total proposed new construction is 4,900 sf.

Scope of Work - Phase 2A:

- ☐ Renovation of the existing gymnasium of Kingfisher Hall:
 - o Demolition of restrooms at the rear of the gymnasium (new restrooms under separate permit in process), upgrading the fire rating of the corridor wall to a 1 hour rated wall, providing a fire suppression system, new storage closets, suspended ceiling replacement, retrofitted HVAC system, new light fixtures, refinishing the existing exposed concrete floor.
- ☐ Demolition of Plaza Conference Room Building
- ☐ Addition to Kingfisher Hall:
 - o 3,500 sf Chattahoochee River Welcome Center structure and enclosure, which includes the new sprinkler riser room supporting both the new building and the renovated gymnasium.
 - o 1,400 sf addition to Kingfisher Hall gymnasium.
 - o New HVAC and sprinkler systems serving both the existing gymnasium and new additions to be installed allowing CNC to obtain a phased occupancy for the renovated gymnasium prior to the completion of phase 2B. This is critical for CNC as it will allow for their summer camps and school programs to restart sooner, which is their major funding source and allows for an uninterrupted service they provide the metro Atlanta community.

Scope of Work - Phase 2B:

- Complete construction of the new 3,500 sf Chattahoochee River Welcome Center addition and 1,400 sf addition to Kingfisher Hall.
- o A lobby space to accommodate pre-function and ticketing activities, conference room, administration offices, warming kitchen, HVAC fire suppression systems, and restrooms.
- o The roof structure is a two-story height mass timber butterfly roof composed of a thermoplastic polyolefin roofing membrane on cross laminated timber roof panels supported by laminated veneer lumber joists on steel beams and columns. Other portions of the roof not visible from the front entry will be low slope thermoplastic polyolefin roofing on wood decking and trusses.
- o The exterior facade will be comprised of curtainwall and storefront systems, nickel gap cedar siding, and painted cementitious board the base. The siding is intended to match the cedar siding in Phase 1 of the project (Meadow Learning Center).
- Sitework associated with the new additions and selective clearing and reshaping of topography in the Meadow Commons. Included in this sitework will be an above ground water basin outside the main entry of the Chattahoochee River Welcome Center for water collection from the runoff of a butterfly roof to be used as a decorative water garden.

Please feel free to reach out with any questions, and we look forward to your comments.

CONTACTS	NAME	COMPANY	ADDRESS
Applicant	Luke Spooner	Gay Construction Company	
Applicant	Stephen Cook		1819 Peachtree Rd. NE Suite 102 Suite 102 Atlanta, GA 30309
Engineer		BREEDLOVE LAND PLANNING, INC.	2140 OLD COVINGTON HWY CONYERS, GA 30012
Owner	Rick Hirsekorn		
Representative		HOUSER WALKER ARCHITECTURE	1819 PEACHTREE STREET SUITE 102 ATLANTA, GA 30309

Attachment: 1_Staff Report (Initial) and review comments (ZDRB-1125-000012 - 9135 Willeo Road - Chattahoochee Nature Center)

SUBMITTAL SUMMARY REPORT (ZDRB-1125-000012)

2.1.a

CONDITION	DESCRIPTION	CREATED BY	CREATED ON	COMMENTS	SATISFIED
AWC - Grading	Grading is to be completed in a manner to ensure that stormwater runoff under post-developed conditions does not adversely impact adjacent parcels or lots as a result of concentrated flows, flooding, and impediment of flows, erosion, or deposits of silt or sediment.	Adam Watts	11/24/2025		Yes
Impervious change general	The applicant is advised that at any point during demolition and construction operations, if the limits of proposed impervious exceed the limits shown on the approved plans, a stop work order will be issued and a revision to the construction plans will be needed to account for any added impervious on the site.	Adam Watts	11/24/2025		Yes
General Condition	Approved with conditions. Conditions include providing full runoff reduction calculations during the LDP submittal.	Adam Watts	11/24/2025		Yes

SUBMITTAL	STARTED	DUE	COMPLETE	STATUS
Design Review v.	11/24/2025	12/02/2025	11/25/2025	Approved

SUBMITTAL DETAILS

Design Review v.1

ITEM REVIEW NAME (DEPARTMENT)	ASSIGNED TO	DUE	COMPLETE	STATUS
Engineering (Engineering)	Lee Smith	12/02/2025	11/24/2025	Approved
P&Z DRB (Planning & Zoning)	Kristen Thomasberger	12/02/2025	11/25/2025	Ready for Agenda
<i>Comments</i>	Ready for Agenda with the following recommendation: Staff comments must be addressed at requisite permit stage.			
<i>Recommendations</i>	Ready for Agenda with the following recommendation: Staff comments must be addressed at requisite permit stage.			
Stormwater (Stormwater)	Adam Watts	12/02/2025	11/24/2025	Approved with Conditions
<i>Comments</i>	Reviewer: Adam Watts awatts@roswellgov.com 770-741-3711			
Tree (Tree)	Laura Sommet	12/02/2025	11/24/2025	Approved with Comments
<i>Comments</i>	Specimen tree calculations have been updated correctly and tree protection fence updated.			

Attachment: 1_Staff Report (Initial) and review comments (ZDRB-1125-000012 - 9135 Willeo Road - Chattahoochee Nature Center)

October 27, 2025

City of Roswell
Community Development - Planning & Zoning
38 Hill Street, Ste. G-30
Roswell, Georgia 30075
Attn: Kristen Thomasberger
770-817-6720
planningandzoning@roswellgov.com

Project: Chattahoochee River Welcome Center Renovations
Project Number: 2514
Re: Request for DRB administrative review

Dear Madam or Sir,

This letter expresses our intent to review the proposed project in preparation for securing a permit for Phase 2 of the renovations and associated sitework at Chattahoochee Nature Center (CNC). Phase 2 of the renovations will be divided into phase 2A and 2B as described below. Total proposed new construction is 4,900 sf.

Scope of Work - Phase 2A:

- Renovation of the existing gymnasium of Kingfisher Hall:
 - Demolition of restrooms at the rear of the gymnasium (new restrooms under separate permit in process), upgrading the fire rating of the corridor wall to a 1 hour rated wall, providing a fire suppression system, new storage closets, suspended ceiling replacement, retrofitted HVAC system, new light fixtures, refinishing the existing exposed concrete floor.
- Demolition of Plaza Conference Room Building
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 - 3,500 sf Chattahoochee River Welcome Center structure and enclosure, which includes the new sprinkler riser room supporting both the new building and the renovated gymnasium.
 - 1,400 sf addition to Kingfisher Hall gymnasium.
 - New HVAC and sprinkler systems serving both the existing gymnasium and new additions to be installed allowing CNC to obtain a phased occupancy for the renovated gymnasium prior to the completion of phase 2B. This is critical for CNC as it will allow for their summer camps and school programs to restart sooner, which is their major funding source and allows for an uninterrupted service they provide the metro Atlanta community.

Scope of Work - Phase 2B:

- Complete construction of the new 3,500 sf Chattahoochee River Welcome Center addition and 1,400 sf addition to Kingfisher Hall.
 - A lobby space to accommodate pre-function and ticketing activities, conference room, administration offices, warming kitchen, HVAC, fire suppression systems, and restrooms.
 - The roof structure is a two-story height mass timber butterfly roof composed of a thermoplastic polyolefin roofing membrane on cross laminated timber roof panels supported by laminated veneer lumber joists on steel beams and columns. Other portions of the roof not visible from the front entry will be low slope thermoplastic polyolefin roofing on wood decking and trusses.
 - The exterior facade will be comprised of curtainwall and storefront systems, nickel gap cedar siding, and painted cementitious board at the base. The siding is

intended to match the cedar siding in Phase 1 of the project (Meadow Learning Center).

- Sitework associated with the new additions and selective clearing and reshaping of topography in the Meadow Commons. Included in this sitework will be an above ground water basin outside the main entry of the Chattahoochee River Welcome Center for water collection from the runoff of a butterfly roof to be used as a decorative water garden.

Please feel free to reach out with any questions, and we look forward to your comments.

Sincerely,

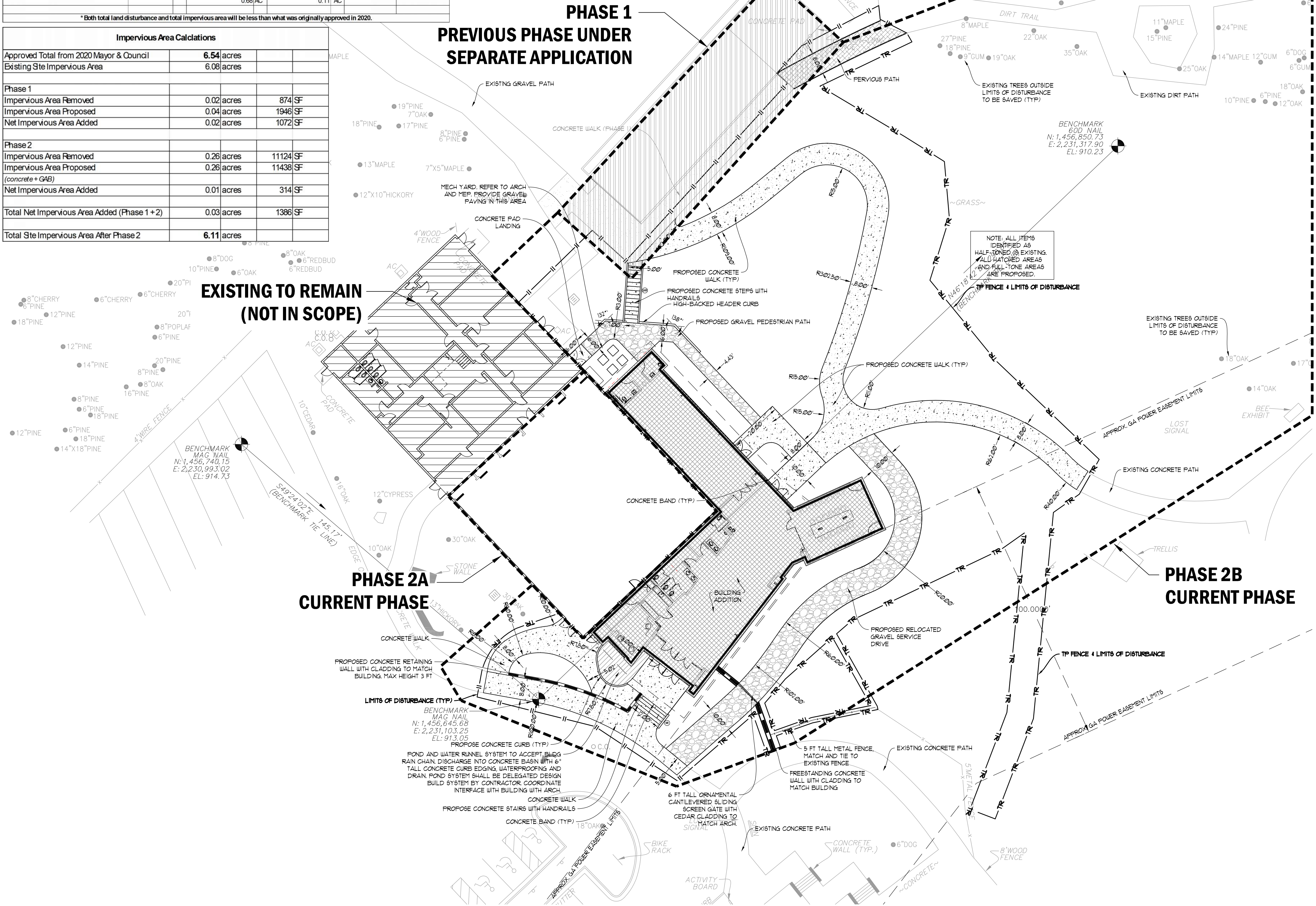


Sarah Hoke, AIA LEED AP BD+C
Houser Walker Architecture

File: W:\Projects\2514_CNC Kingfisher\Record\Deliverables\2 - DD\250926 MLC DRB
Submittal\251027_CNC LOI.docx

MRPA Approved Numbers					
From approved Jaunary 2020 Mayor & Council					
Vulnerability Category	Total Acreage	Total Land Disturbance	Total Impervious Area	Percent Land Dist.	Percent Imp. Area
A	-	-	-	-	-
B	-	-	-	-	-
C	128,750 SF	86,956 SF	36,785 SF	70	29
D	1,403,900 SF	446,550 SF	179,393 SF	50	13
E	1,328,900 SF	234,628 SF	68,877 SF	30	5
F	268,000 SF	-	-	-	-
Total	3,411,600 SF	768,134 SF	285,055 SF	-	-
	78.32 AC	17.63 AC	6.54 AC		
Area Included in original approved plan, but never installed		70,258 SF	19,840 SF		
		1.61 AC	0.46 AC		
Area included in this project (Phase 1 & 2)		29621 SF	4700 SF (added impervious)		
		0.68 AC	0.11 AC		
* Both total land disturbance and total impervious area will be less than what was originally approved in 2020.					

Impervious Area Calculations			
Approved Total from 2020 Mayor & Council	6.54 acres		
Existing Site Impervious Area	6.08 acres		
Phase 1			
Impervious Area Removed	0.02 acres	874 SF	
Impervious Area Proposed	0.04 acres	1946 SF	
Net Impervious Area Added	0.02 acres	1072 SF	
Phase 2			
Impervious Area Removed	0.26 acres	11124 SF	
Impervious Area Proposed	0.26 acres	11438 SF	
(concrete + GAB)			
Net Impervious Area Added	0.01 acres	314 SF	
Total Net Impervious Area Added (Phase 1 + 2)	0.03 acres	1386 SF	
Total Site Impervious Area After Phase 2	6.11 acres		

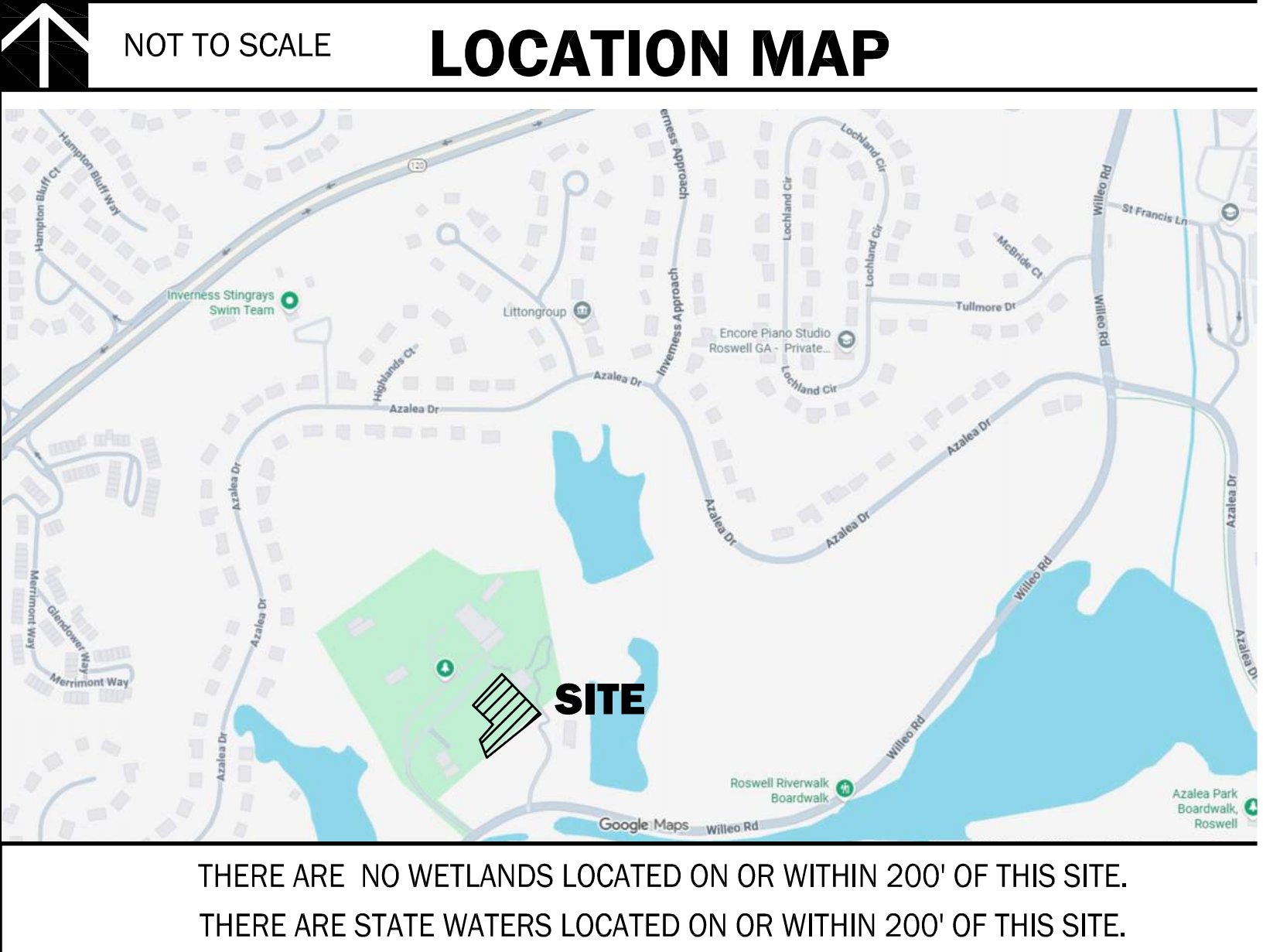


PAVING LEGEND

	CONCRETE WALK
	GRAVEL PAVING
	PERVIOUS PAYER

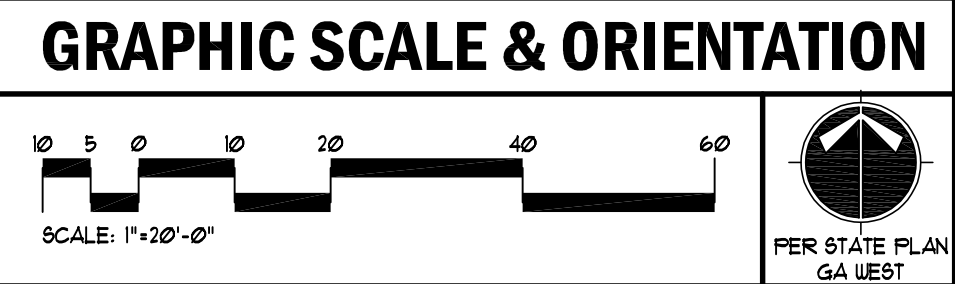
Design Plan Review Checklist

Total Site Area:	72 Acre
Project Area:	29668.31 sf 0.68 Acre
Primary/side street build-to-zone and building in primary street BTZ (min % of lot width)	
Building Footprint	
- Existing Building footprint	14542.83 sf
- Existing Building to remain	9654.68 sf
- Proposed Building Footprint	16496.61 sf
- Net increased Building Footprint	1953.78 sf
Existing Parking Space	
Bus	11
car	125
- Including ADA space	6
Outdoor Amenity Space (Sidewalks, Plazas, Entrance Garden)	
Landscape Open Space (Wooded areas, Lawn, Shrubs)	48460 sf
All required buffer	N/A





BREEDLOVE
LAND PLANNING
Site Design Professionals



SITE PLAN

CHATTAHOOCHEE NATURE CENTER IMPROVEMENTS
KINGFISHER HALL & RIVER WELCOME CENTER

NOVEMBER 21, 2025

C200

CNC Phase 2 DRB COMMENT RESPONSE

PERMIT NUMBER: ZDRB-1025-000006

Engineering:

1. Labels have been added to site plan.
2. Labels have been added to site plan identifying existing trees to be saved. Refer to Tree Protection Plan included with submittal for additional information and trees to be removed. Refer to Tree Replacement plan included with submittal for proposed trees to be planted.
3. Label added to site plan. Gravel drive is proposed (relocated from existing conditions)
4. Only one retaining wall is proposed at front of building. Max 3 ft tall. Labeled on site plan.
5. Note added under north arrow on site plan.
6. Limits of disturbance line is now shown on site plan (and labeled)
7. Parcel boundaries, R.O.W. lines are well outside of project area and not visible in viewport. (Refer to survey included in submittal). GA Power Easement is nearby and labeled on site plan
8. Refer to grading plan included with submittal.
9. Survey Benchmark now shown on site plan.
10. Location Map now included on site plan.
11. Refer to survey included with submittal.

Stormwater:

1. Impervious area calculations are updated and added to site plan
2. Impervious areas updated, and project will be over 5,000 sf.
3. Hydro report will be provided at time of LDP submittal.
4. RRV figures are now shown on the grading plan
5. Permeable pavers are no longer included and are not included in storage calculations. The proposed underground system will handle all stormwater management requirements.
6. Permeable pavers are no longer included.
7. Understood
8. Understood
9. Discharge / tie-in point is now shown on grading plan included in submittal
10. Permeable pavers are no longer included.
11. Permeable pavers are no longer included
12. Labels added to storm pipe and structures on grading plan

Tree

1. TP fencing is now shown and labeled on plans
2. Specimen tree calculations have been updated



CHATTAHOOCHEE NATURE CENTER RENOVATIONS - PHASE 2

KINGFISHER HALL & CHATTAHOOCHEE RIVER WELCOME CENTER

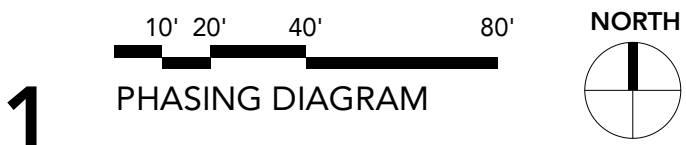
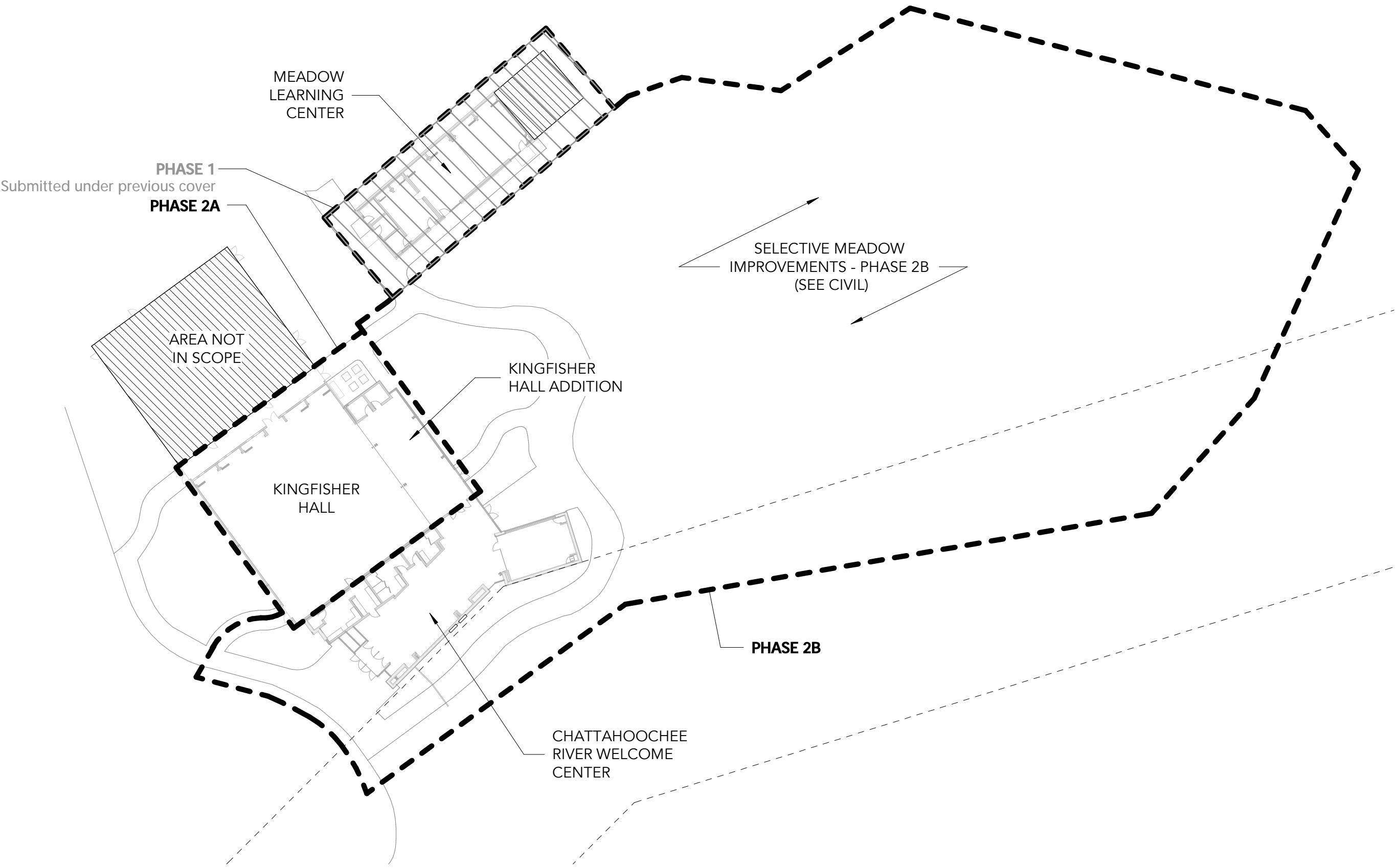
9135 Willeo Road, Roswell, GA 30075

PROJECT NARRATIVE:

This letter expresses our intent to review the proposed project in preparation for securing a permit for Phase 2 of the renovations and associated sitework at Chattahoochee Nature Center (CNC). Phase 2 of the renovations will be divided into phase 2A and 2B as described below. Total proposed new construction is 4,900 sf.

- Scope of Work - Phase 2A:
- Renovation of the existing gymnasium of Kingfisher Hall:
 - Demolition of restrooms at the rear of the gymnasium (new restrooms under separate permit in process), upgrading the fire rating of the corridor wall to a 1 hour rated wall, providing a fire suppression system, new storage closets, suspended ceiling replacement, retrofitted HVAC system, new light fixtures, refinishing the existing exposed concrete floor.
 - Demolition of Plaza Conference Room Building
 - Addition to Kingfisher Hall:
 - 3,500 sf Chattahoochee River Welcome Center structure and enclosure, which includes the new sprinkler riser room supporting both the new building and the renovated gymnasium.
 - 1,400 sf addition to Kingfisher Hall gymnasium.
 - New HVAC and sprinkler systems serving both the existing gymnasium and new additions to be installed allowing CNC to obtain a phased occupancy for the renovated gymnasium prior to the completion of phase 2B. This is critical for CNC as it will allow for their summer camps and school programs to restart sooner, which is their major funding source and allows for an uninterrupted service they provide the metro Atlanta community.

- Scope of Work - Phase 2B:
- Complete construction of the new 3,500 sf Chattahoochee River Welcome Center addition and 1,400 sf addition to Kingfisher Hall.
 - A lobby space to accommodate pre-function and ticketing activities, conference room, administration offices, warming kitchen, HVAC, fire suppression systems, and restrooms.
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 - The exterior facade will be comprised of curtainwall and storefront systems, nickel gap cedar siding, and painted cementitious board at the base. The siding is intended to match the cedar siding in Phase 1 of the project (Meadow Learning Center).
 - Sitework associated with the new additions and selective clearing and reshaping of topography in the Meadow Commons. Included in this sitework will be an above ground water basin outside the main entry of the Chattahoochee River Welcome Center for water collection from the runoff of a butterfly roof to be used as a decorative water garden.



PROJECT TEAM:

Owner:
Chattahoochee Nature Center
9135 Willeo Road
Roswell, Georgia 30075

General Contractor:
Gay Construction Company
2907 Log Cabin Drive
Atlanta, Georgia 30339

Architect:
Houser Walker Architecture
1819 Peachtree Street, NE, Suite 102
Atlanta, Georgia 30309

Civil Engineer:
Breedlove Landplanning
15 Simpson Street, NW
Atlanta, Georgia 30308

Structural Engineer:
Shear Structural
3411 Pierce Drive, Suite 103
Chamblee, Georgia 30341

MEP, FP Engineer:
Conway & Owen
1455 Bluegrass Lakes Parkway
Alpharetta, Georgia 30004

SHEET INDEX:

- G100 - Cover sheet
- G200 - Existing survey
- C200 - Site Plan
- C300 - Site Grading Plan
- C600 - Site Tree Density Plan
- C605 - Tree Protection Plan
- C610 - Tree Replacement Plan
- C620 - Planting Plan
- A100 - Proposed Building Elevations
- A200 - Proposed Material Samples



STANDARD ABBREVIATIONS	STANDARD SYMBOLS
AC AIR CONDITIONER	POWER POLE
BI BORE HOLE	GY WIRE
BSL BUILDING SETBACK LINE	POWER LINE
CH CURB INLET	LIGHT POLE
CMF CORRUGATED METAL PIPE	ELECTRIC TRANSFORMER
CP CONCRETE MONUMENT FND	
CS SANITARY CLEANOUT	
CPED COMMUNICATION PEDESTAL	
CR CRUMPLED TOP OF	
DI DROP INLET	
DIP DUCTILE IRON PIPE	
DWBC DUCTILE WING CATCH BASIN	
FD FOUND	
GM GAS METER	
INV INVERT	
JBJ JUNCTION BOX	
MAN MANHOLE	
NF NAIL FOUND	
OC OUTLET CONTROL STRUCTURE	
OTF OUTLINE TOP PIPE	
PM POWER METER	
POB POINT OF BEGINNING	
POC POINT OF COMMENCEMENT	
RPR REINFORCED CONCRETE PIPE	
RRB REBAR REINFORCING BAR	
S/SBY SET POINT SETPOINT LSF 621	
SS SANITARY SEWER	
SWB SWIRL WING CATCH BASIN	
TE ELECTRIC TRANSFORMER	

Know what's below.
Call before you dig.
Dial 811
Or Call 800-282-7411



THE UNDERGROUND UTILITIES SHOWN HEREIN ARE BASED
ON LOCATION OF MARKINGS PROVIDED BY:
MC UTILITY SURVEYING, LLC
160 CHANTILLY LANE
LAWRENCEVILLE, GA 30043

THE UNDERGROUND UTILITIES (EXCEPT THE LOCATION OF EXISTING DRAINAGE,
SEWER AND IRRIGATION UTILITIES AS WELL AS UNDERGROUND STORAGE TANKS
WERE LOCATED BY UTILITYSURVEY, LLC. UTILIZING RADIO FREQUENCY TECHNIQUE.
UTILITYSURVEY IS CAPABLE OF LOCATING METALLIC UTILITIES AND TRACER
WIRES. ANY NON-METALLIC UTILITIES (WITHOUT TRACER WIRE) ARE NOT
LOCATED.

THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE A SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. UNDERGROUND UTILITIES NOT OBSERVED OR LOCATED UTILIZING THIS TECHNIQUE MAY EXIST ON THIS SITE BUT NOT BE SHOWN, AND MAY BE FOUND UPON EXCAVATION. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

INFORMATION REGARDING MATERIAL AND SIZE OF UTILITIES IS BASED ON RECORDS ACQUIRED FROM THE UTILITY OWNERS.

The figure consists of six numbered photographs showing different parts of the school campus:

- 1. A paved walkway leading to a building entrance, bordered by dense green bushes and a large tree.
- 2. A wide, paved walkway made of interlocking bricks, leading towards a building entrance.
- 3. A gravel path leading to a building with a green roof, surrounded by trees and a grassy area.
- 4. A gravel area next to a black metal fence, with trees and a building in the background.
- 5. A large, open grassy field with trees in the background.
- 6. A paved walkway leading to a building entrance, bordered by dense green bushes and trees.

ORTHOMOSAIC IMAGE CAPTURE DATE, JANUARY 2025. SOURCE: NEARMAP

LIMITS OF TOPOGRAPHIC SURVEY

GeoSurvey

[illegible]

THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE PERSON OR ENTITIES NAMED HEREON. NO EXPRESS OR IMPLIED WARRANTIES WITH RESPECT TO THE INFORMATION SHOWN HEREON IS TO BE EXTENDED TO ANY PERSONS OR ENTITIES OTHER THAN THOSE SHOWN HEREON.

REVISIONS LISTED ON THIS SURVEY APPLY ONLY TO THE SPECIFIC CHANGES REFERENCED, AND DO NOT CONSTITUTE AN UPDATE OF OTHER DATA ON THIS SURVEY. THE "SURVEY DATE" SHOWN HEREON IS THE APPLICABLE DATE AS RELATED TO PROVISIONS OF STATUTES OF LIMITATION UNLESS SPECIFICALLY NOTE OTHERWISE.

THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE INSPECTION REPORT. EASEMENTS OR OTHER ENCUMBRANCES MAY EXIST ON PUBLIC RECORD BUT NOT BE SHOWN HEREON.

THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA BASED ON THE FLOOD INSURANCE RATE MAP FOR THIS AREA. THE MAP NUMBER FOR THIS AREA IS 13121C0044G, AND THE DATE OF SAID MAP IS 09/18/2013. THIS DETERMINATION WAS MADE BY GRAPHICALLY DETERMINING THE POSITION OF THIS SITE ON SAID FIRM MAPS UNLESS OTHERWISE NOTED.

TREES 6-INCH DBH (DIAMETER AT BREAST HEIGHT) AND LARGER WERE LOCATED FOR THIS SURVEY.

THE DATUM FOR THIS SITE WAS ESTABLISHED UTILIZING GLOBAL POSITIONING SYSTEMS, AND BASED ON POSITIONAL VALUES FOR THE VIRTUAL REFERENCE STATION NETWORK DEVELOPED BY GCPs SOLUTIONS. THE HORIZONTAL REFERENCE FRAME IS NORTH AMERICAN DATUM OF 1983(2011)-STATE PLANE COORDINATE SYSTEM OF GEORGIA--WEST ZONE. THE VERTICAL REFERENCE FRAME IS NORTH AMERICAN VERTICAL DATUM OF 1988. ANY DIRECTIONS OR DIMENSIONS SHOWN ARE A RECTANGULAR, GROUND LEVEL PROJECTION OF THE STATE PLANE COORDINATE SYSTEM.

NO ZONING REPORT OR ZONING LETTER WAS PROVIDED TO THE SURVEYOR.
ZONING AND SETBACKS SHOULD BE CONFIRMED AND VERIFIED BY PLANNING AND
ZONING PRIOR TO DESIGN OR CONSTRUCTION ACTIVITIES.

RIGHT-OF-WAY LINES SHOWN ON THIS SURVEY THAT ARE NOT ACTUAL
BOUNDARIES OF THE SUBJECT TRACT(S) ARE DEPICTED GRAPHICALLY AND ARE
SHOWN APPROXIMATELY FOR INFORMATIONAL PURPOSES ONLY. SAID RIGHT-OF-WAY
LINES SHOULD NOT BE UTILIZED FOR DESIGN PURPOSES

- 1> BOUNDARY SURVEY FOR CHATTAHOOCHEE NATURE CENTER INC., PREPARED BY ARMSTRONG LAND SURVEYING, INC., DATED JUNE 21, 2006.
- 2> CONSOLIDATION PLAT FOR CHATTAHOOCHEE NATURE CENTER INC., PREPARED BY ARMSTRONG LAND SURVEYING, INC., DATED JANUARY 11, 2007, LAST REVISED MARCH 6, 2007.



PARTIAL TOPOGRAPHIC SURVEY

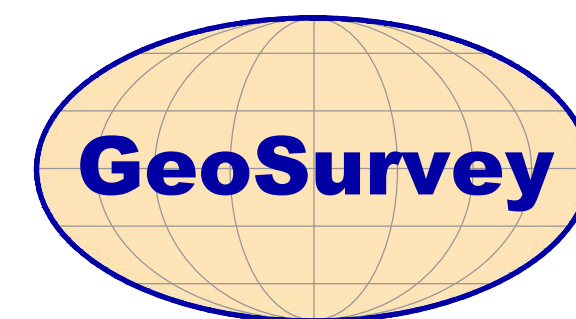
#9135 Willeo Road

FOR

Chattahoochee Nature Center

GS JOB NO: 20258307		DRAWING SCALE: 1"= 30'	SURVEY DATE: 08/22/2025	
FIELD WORK: TG		CITY: ROSWELL	REVISIONS (SEE GENERAL NOTES)	
PROJ MGR: RFP	COUNTY: FULTON	STATE: GA	No.	Date Description
REVIEWED: DLH	LAND LOT: 296			
DWG FILE: 20258307-1.dwg	DISTRICT: 1st			

N/F PROPERTY OF
*Chattahoochee
Nature Center*
PARCEL ID:12 173002700235



Professional Land Surveying Services

1660 Barnes Mill Road
Marietta, Georgia 30062

Phone: (770) 795-9900
Fax: (770) 795-8880

www.geosurvey.com
EMAIL: info@geosurvey.com
Certificate of Authorization #LSF-000621

MRPA Approved Numbers					
From approved January 2020 Mayor & Council					
Vulnerability Category	Total Acreage	Total Land Disturbance	Total Impervious Area	Percent Land Dist.	Percent Imp. Area
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Impervious Area Calculations			
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EXISTING TO REMAIN
(NOT IN SCOPE)

PHASE 2A
CURRENT PHASE

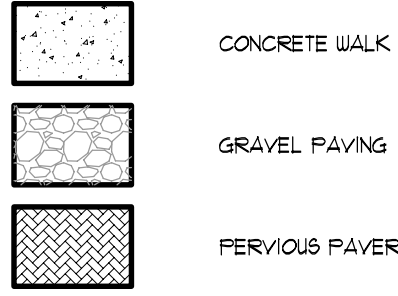
PHASE 1
PREVIOUS PHASE UNDER
SEPARATE APPLICATION

PHASE 2B
CURRENT PHASE

SITE PLAN

CHATTAHOOCHEE NATURE CENTER IMPROVEMENTS
KINGFISHER HALL & RIVER WELCOME CENTER

PAVING LEGEND



Design Plan Review Checklist

Total Site Area:	72 Acre
Project Area:	29668.31 sf 0.68 Acre
Primary/side street build-to-zone and building in primary street BTZ (min % of lot width)	
Building Footprint	
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- Existing Building to remain	9654.68 sf
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- Including ADA space	6
Outdoor Amenity Space (Sidewalks, Plazas, Entrance Garden)	
5815 sf	
Landscape Open Space (Wooded areas, Lawn, Shrubs)	
48460 sf	
All required buffer	N/A

NOT TO SCALE

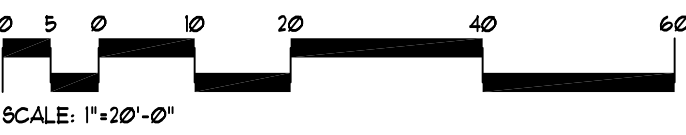
LOCATION MAP



THERE ARE NO WETLANDS LOCATED ON OR WITHIN 200' OF THIS SITE.
THERE ARE STATE WATERS LOCATED ON OR WITHIN 200' OF THIS SITE.

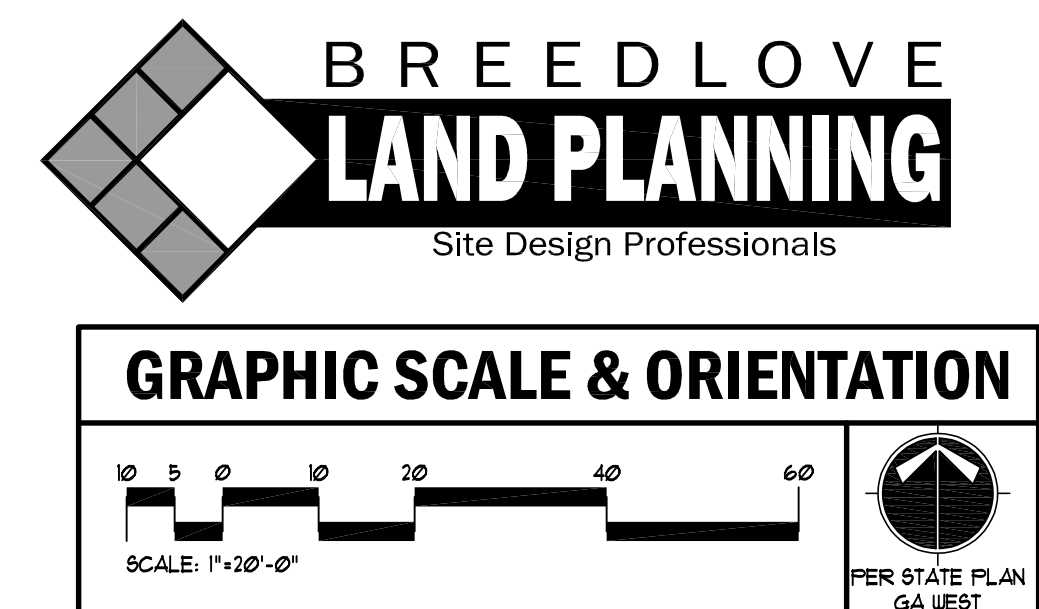


GRAPHIC SCALE & ORIENTATION



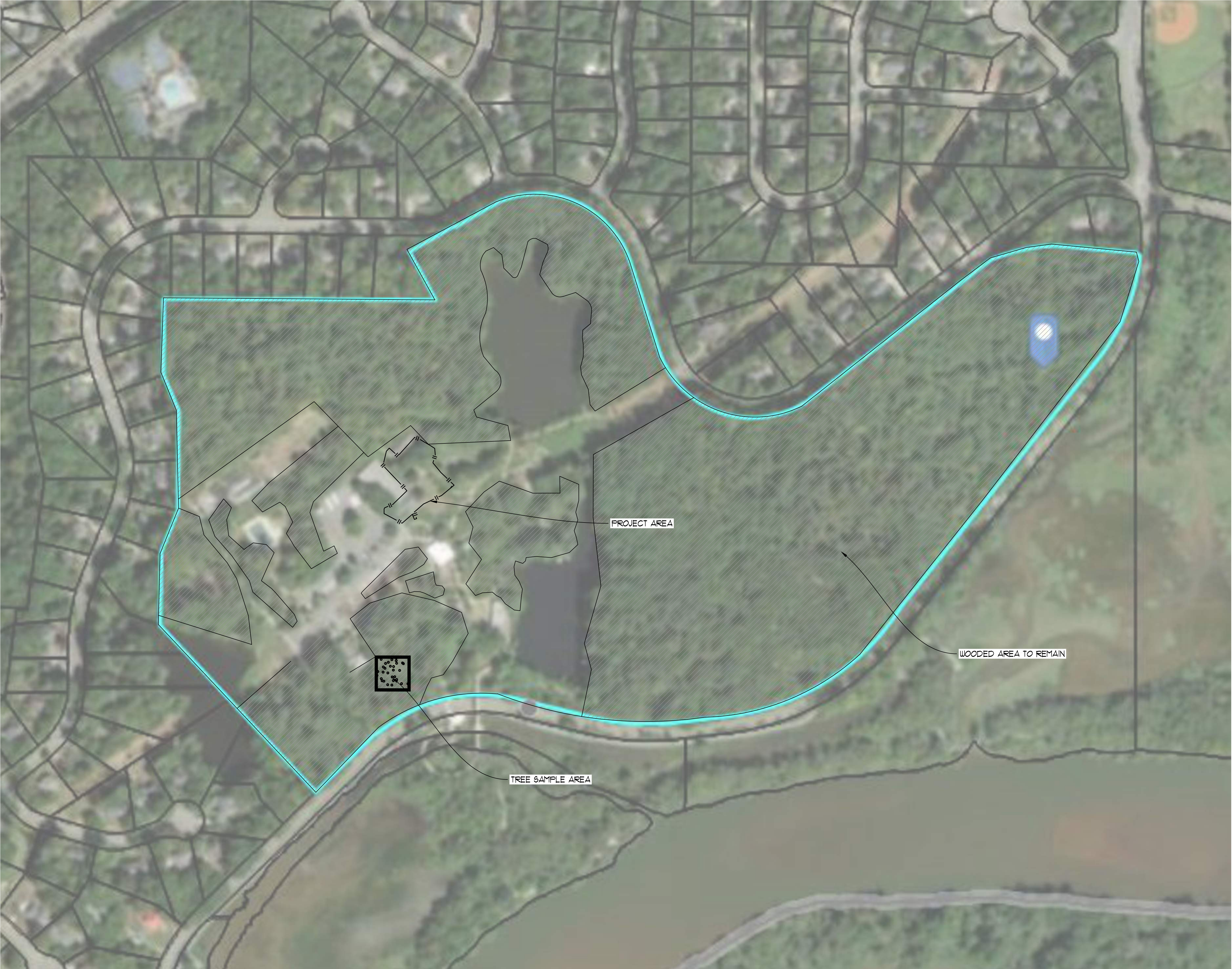
C200

NOVEMBER 21, 2025



CHATTAHOOCHEE NATURE CENTER IMPROVEMENTS KINGFISHER HALL & RIVER WELCOME CENTER

NOVEMBER 21, 2025



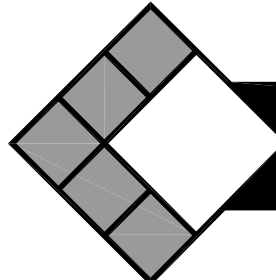
TREE SAMPLING METHOD (Wooded Sample Area)			
Sample Area: (0.23 acres) 10,000 sq. ft.			
TREE	DBH (INCHES)	TYPE	TREE DENSITY UNITS
1	10	HARDWOOD	3.6
1	12	POPLAR	4.2
1	13	HARDWOOD	4.5
1	12	POPLAR	4.2
1	8	HARDWOOD	3
1	10	HARDWOOD	3.6
1	10	POPLAR	3.6
1	13	PINE	4.5
1	7	HARDWOOD	2.7
1	12	HARDWOOD	4.2
1	12	POPLAR	4.2
1	8	OAK	3
1	10	OAK	3.6
1	12	OAK	4.2
1	8	POPLAR	3
1	13	PINE	4.5
1	15	OAK	5.05
1	10	OAK	3.6
1	8	HARDWOOD	3
1	11	HARDWOOD	3.9
1	11	HARDWOOD	3.9
1	8	HARDWOOD	3
1	7	HARDWOOD	2.7
1	8	OAK	3
1	10	HARDWOOD	3.6
1	10	HARDWOOD	3.6
1	8	HARDWOOD	3
1	6	HARDWOOD	2.4
1	12	OAK	4.2
1	10	POPLAR X2	3.6
1	10	HARDWOOD	3.6
1	24	PINE	6.6
1	7	HARDWOOD	2.7
TREE DENSITY UNITS TOTAL			122.05

Existing Site Area		72 Acres
Total Site Area		
Total Site Wooded Area	53.4 Acres (2,325,477.7 sq. ft.)	

Wooded Sample Area Calculations	
Wooded Sample Area	0.23 Acres (10,000 sq. ft.)
Sample Area Tree Density Units (see table)	122.05
(122.05 Tree Density Units for every 10,000 sq. ft. of wooded area)	

Sample Method for Total Site Wooded Area	
2,325,477.7 sq. ft. of wooded area / 10,000 sq. ft. = 232.5	
(232.5) X 122.05 Tree Density Units = 28,382.5	
Total Site Tree Density Units	28,382.50

Tree Unit Density Calculation	
Requirement of 20 Tree Density Units Per Acre	
(20) X (72 Acres) = 1,440 Total Tree Density Units Required	
Replacement Tree Density Units	
1,440 Tree Density Units Required - 28,382.5 Existing Tree Density	
Units Protected in Tree Save Areas =	
-26,942.50	
There are no additional Tree Density Units needed.	

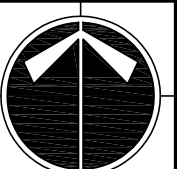


BREEDLOVE
LAND PLANNING
Site Design Professionals

GRAPHIC SCALE & ORIENTATION

15 315 0 15 150 300 450

SCALE: 1"=150'-0"



SITE TREE DENSITY PLAN

TREE PROTECTION PLAN

CHATTAHOOCHEE NATURE CENTER IMPROVEMENTS
MEADOW LEARNING CENTER

EXISTING TO REMAIN
(NOT IN SCOPE)

PHASE 2A
CURRENT PHASE

PHASE 1
PREVIOUS PHASE UNDER
SEPARATE APPLICATION

PHASE 2B
CURRENT PHASE

Specimen Tree Recompense			
No	DBH	TYPE	TREE DENSITY UNITS
8	22	OAK	6.3
11	21	OAK	6.3
20	32	PINE	7.8
TOTAL SPECIMEN TREE TDU REMOVAL			14.1
REPLACEMENT 6" CAL TREES PLANTED			6
TOTAL TDU OF REPLACEMENT TREES			14.4

Tree Inventory							STATUS	NOTE
No.	DBH	TYPE	SPECIMEN	CRZ RADIS(FT)	CRZ(SF)	IMPACT(SF)	IMPACT PERCENTAGE(%)	
1	8" X 8"	CYPRESS	NO					REMOVED
2	18	OAK	NO					REMOVED
3	16	OAK	NO					REMOVED
4	20	CEDAR	NO					REMOVED
5	19	OAK	NO					REMOVED
6	14	OAK	NO					REMOVED
7	14	OAK	NO					REMOVED
8	22	OAK	YES					REMOVED
9	12	MAPLE	NO					REMOVED
10	9	MAPLE	NO					REMOVED
11	21	OAK	YES					REMOVED
12	18	OAK	NO					REMOVED
13	18	OAK	NO	27	2290	0	0	SAVED
14	30	OAK	YES	45	6361	1800	28.30	SAVED
15	13	HICKORY	NO	19.5	1194	88	7.37	SAVED
16	30	OAK	YES	45	6361	60	0.94	SAVED
17	7	ORNAMENTAL	NO	10.5	346	0	0.00	SAVED
18	7" X 5"	MAPLE	NO	10.5	346	0	0	SAVED
19	18	IMPERIAL	NO					REMOVED
20	32	PINE	YES	48	7238	1462	20.20	RECOMPENSE
21	27	PINE	NO	40.5	5152	546.79	10.61	SAVED
22	18	PINE	NO	27	2290	83	3.62	SAVED
23	9	GUM	NO	13.5	572	0	0	SAVED
24	19	OAK	NO	28.5	2551	0	0	SAVED
25	8	MAPLE	NO	12	452	0	0	SAVED
26	17	OAK	NO	25.5	2042	0	0	SAVED
27	22	OAK	YES	33	3421	0	0	SAVED
28	35	OAK	YES	52.5	8659	0	0	SAVED
29	12	MAPLE	NO					REMOVED
30	17	OAK	NO					REMOVED
31	8	OAK	NO					REMOVED



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NO MORE THAN 10 WORKING DAYS IN ADVANCE TO HAVE UTILITY LINES MARKED.



C605

NOVEMBER 21, 2025

SITE PLAN LEGENDS

2.1.d

LAYOUT & STAKING

- COORDINATE POINT
- POINT OF BEGINNING
- DETAIL REFERENCE (DETAIL SHEET)
- HANDRAIL AND/OR GUARDRAIL
- GDOT TYPE 4010 VEHICULAR GUARDRAIL

PAVEMENT MARKINGS

- PARKING ARROW - STRAIGHT, WHITE
- PARKING ARROW - TURN, WHITE
- PAINTED CROSSWALK - WHITE
- ADA PARKING ACCESS AISLE - BLUE
- PAINTED WORD "STOP" - WHITE
- PAINTED WORD "ONLY" - WHITE

SIGNAGE

- SIGN
- STOP SIGN - MUTCD STANDARD R1-1
- YIELD SIGN - MUTCD STANDARD R1-2
- NO PARKING SIGN - MUTCD STANDARD R8-3a
- DO NOT ENTER SIGN - MUTCD STANDARD R5-1
- ONE WAY SIGN - MUTCD STANDARD R6-2

SITE GRADING

- PROPOSED INTERMEDIATE CONTOURS
- PROPOSED INDEX CONTOURS
- SPOT ELEVATION
- BERM
- HIGH POINT
- LOW POINT
- FLOW DIRECTION
- SWALE
- SLOPE INDICATOR (H:V)
- FINISHED GRADE AT TOP OF WALL
- FINISHED GRADE AT BOTTOM OF WALL
- TOP OF CURB ELEVATION

SITE UTILITIES

- DOMESTIC WATER
- FIRE MAIN
- FIRE HYDRANT
- POST INDICATOR VALVE
- CONCRETE THRUST BLOCKING
- WATER VALVE
- GRAVITY SANITARY SEWER
- FORCE MAIN

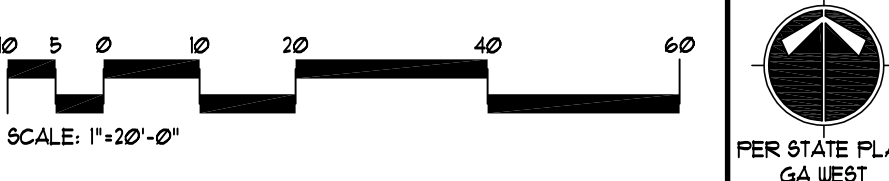
GENERAL

- TREE PROTECTION FENCE
- LIMITS OF CONSTRUCTION
- EXISTING TREE TO BE REMOVED

STORM DRAINAGE

- STORM STRUCTURE LABEL
- HEADWALL
- FLARED END SECTION - GDOT STANDARD 102
- SAFETY END SECTION - GDOT STANDARD 102
- CATCH BASIN / GRATE INLET
- JUNCTION BOX
- DROP INLET - PEDESTAL TOP
- CURB INLET - GDOT STANDARD 101 W/ TYPE "E" HOOD
- SINGLE-WING CATCH BASIN - GDOT STANDARD 1033D
- DOUBLE-WING CATCH BASIN - GDOT STANDARD 1034D
- OUTLET CONTROL STRUCTURE
- TOP OF STRUCTURE ELEVATION
- THROAT OF STRUCTURE ELEVATION
- HIGH-DENSITY POLYETHYLENE PIPE
- ALUMINIZED STEEL TYPE 2 PIPE
- AST2 SPIRAL RIB CMP (MANNINGS n=0.012, ULTRAFLOW (TM) OR APPROVED EQUAL
- DUCTILE IRON PIPE
- REINFORCED CONCRETE PIPE (CLAY OR VULCANIZED RUBBER O-RING GASKET)
- POLYVINYL CHLORIDE PIPE (SCHEDULE 40)
- INVERT ELEVATION - IN
- INVERT ELEVATION - OUT
- HYDRAULIC GRADE LINE

GRAPHIC SCALE & ORIENTATION



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CALL BEFORE YOU DIG

EXISTING TO REMAIN
(NOT IN SCOPE)

PHASE 1
PREVIOUS PHASE UNDER
SEPARATE APPLICATION

PHASE 2A
CURRENT PHASE

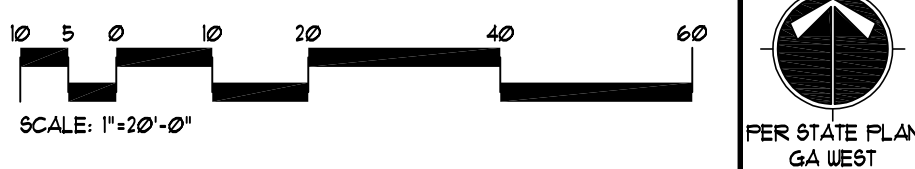
PHASE 2B
CURRENT PHASE

PLANT MATERIAL SCHEDULE					
BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING	REMARKS
TREES:					
QUERCUS LYRATA	OVERCUP OAK	6	6" CAL.		B&B, FULL HEAD, SPECIMEN, STRAIGHT CENTRAL LEADER

PLANTING NOTES

1. PLANT MATERIALS SHALL MEET MINIMUM REQUIREMENTS AS SET FORTH IN THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK.
2. PLANTS SHALL BE HEALTHY, VIGOROUS SPECIMENS, FREE OF PESTS AND DISEASE.
3. PLANTS ARE SUBJECT TO THE APPROVAL OF THE ARCHITECT OR OWNER BEFORE, DURING AND AFTER INSTALLATION.
4. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
5. DO NOT BREAK ROOTBALL.
6. IMMEDIATELY SOAK NEW PLANTINGS WITH WATER.
7. STAKE TREES IMMEDIATELY AFTER PLANTING AS INDICATED IN DETAILS OR AS DIRECTED BY THE ARCHITECT.
8. CONTRACTOR IS FULLY RESPONSIBLE FOR MAINTENANCE, INCLUDING WATERING, FERTILIZING, YOUNG, RE-MULCHING, WEEDING, SETTLING, PRUNING OF THIS WORK THROUGHOUT THE MAINTENANCE PERIOD AS INDICATED IN THE SPECIFICATIONS OR UNTIL SUBSTANTIAL COMPLETION (WHICHEVER IS GREATER).
9. CONTRACTOR SHALL ENSURE MULCH IN PLANTING BEDS IS MINIMUM THICKNESS THROUGH MAINTENANCE PERIOD. CONTRACTOR SHALL RE-MULCH AS NECESSARY (MINIMUM TWICE A YEAR).
10. THE CONTRACTOR IS ADVISED OF THE UNDERGROUND UTILITIES AND SHALL PHYSICALLY LOCATE CHECK LOCATION OF SAME BEFORE COMMENCING DIGGING OPERATIONS.
11. CONTRACTOR SHALL FULLY GUARANTEE PLANTS FOR THIS JOB FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF ACCEPTANCE.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN TAKEOFF QUANTITIES AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
13. CONTRACTOR SHALL FLAG LOCATION OF PLANT MATERIAL FOR APPROVAL BY ARCHITECT BEFORE INSTALLATION.
14. PLANT BEDS SHALL BE MULCHED WITH A MINIMUM OF 3" OF CLEAN FRESH PINE STRAW.
15. AREAS DESIGNATED AS FLOWER BEDS SHALL RECEIVE 12" OF PLANTING MIXTURE TOPPED WITH 2" OF FINE BARK MINI CHIPS.
16. PLANTING MIXTURE SHALL BE PER SPECIFICATIONS.
17. PRE CONSTRUCTION MEETING SHALL BE REQUIRED PRIOR TO PLANTING OR PLANT BED PREPARATION MEETING SHALL INCLUDE ARCHITECT, CIVIL ENGINEER, PROGRAM MANAGER, SUBCONTRACTOR, GC AND INSPECTOR.
18. CONTRACTOR SHALL ENSURE PLANTING BEDS ARE FREE OF ROCK AND DEBRIS PER SPECIFICATIONS. IF ROCK AND DEBRIS ARE SMALL ENOUGH TO MEET SPECIFICATIONS, BUT ARE DEEMED BY DESIGN TEAM TO INHIBIT SUCCESSFUL LONG-TERM PLANT GROWTH, CONTRACTOR SHALL REMOVE TO PROVIDE CLEAN PLANT BED SOIL.

GRAPHIC SCALE & ORIENTATION



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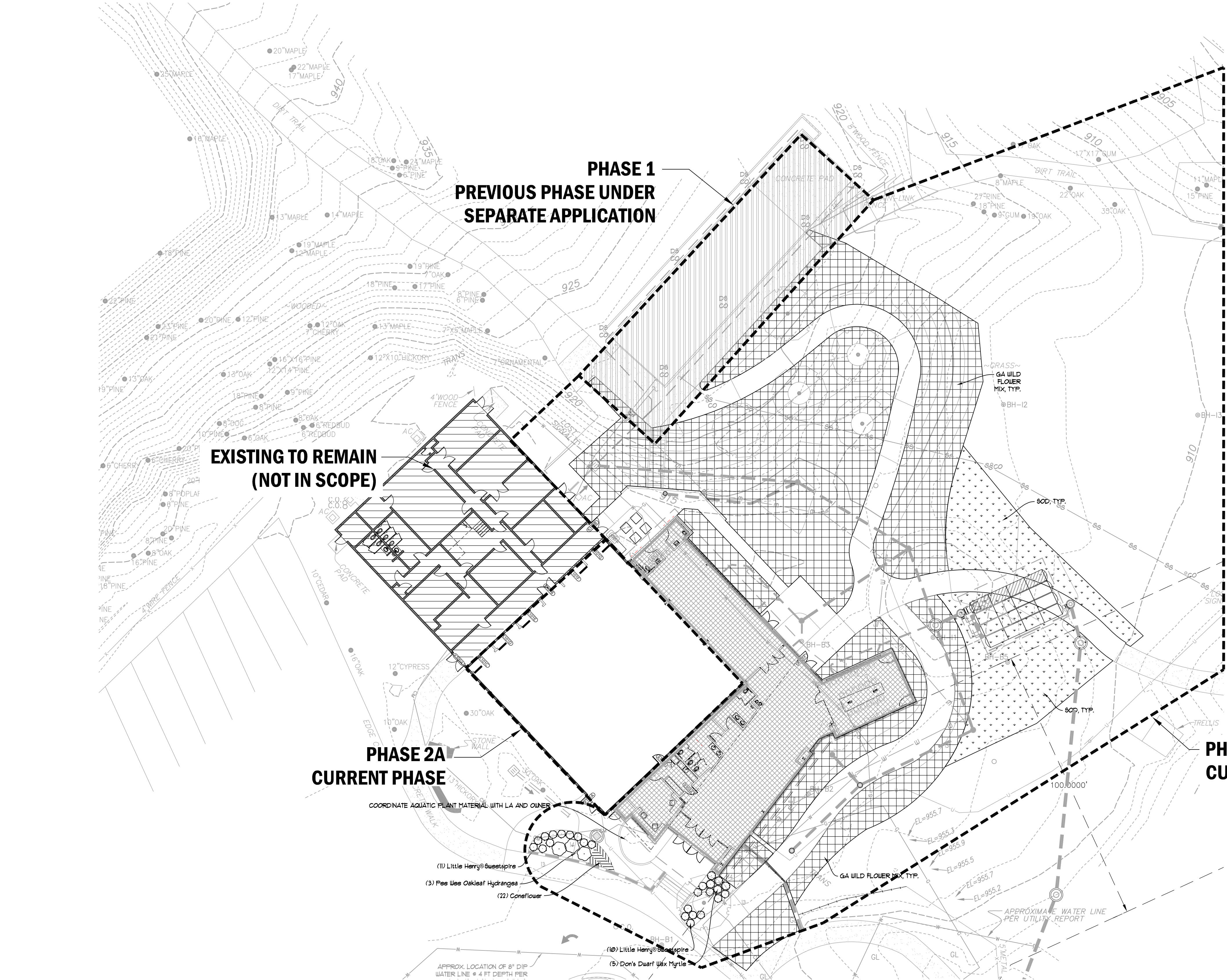
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TREE REPLACEMENT PLAN

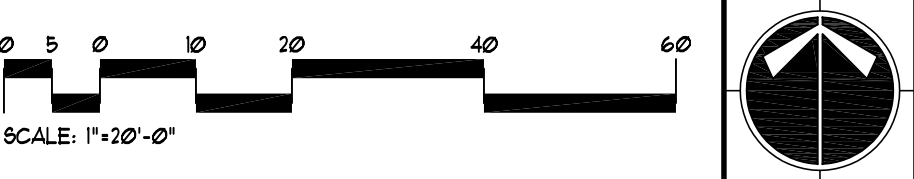


PLANT MATERIAL SCHEDULE					
BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING	REMARKS
SHRUBS:					
ITEA VIRGINICA 'LITTLE HENRY'	LITTLE HENRY SWEETSPIRE	21	3 GAL.	40' O.C.	CONTAINER FULL HEAD, SPECIMEN
MYRTICA CERIFERA	DWARF WAX MYRTLE	5	3 GAL.	30' O.C.	CONTAINER FULL HEAD, SPECIMEN
HYDRANGEA QUERCIFOLIA 'ALICE'	OAK LEAF HYDRANGEA	3	1 GAL.	AS SHOWN	CONTAINER FULL HEAD, SPECIMEN
GRASSES/ GROUNDCOVERS:					
ECHINACEA PURPUREA	CONEFLOWER	22	3 GAL.	18' O.C.	CONTAINER FULL HEAD, SPECIMEN

PLANTING PLAN

SITE PLAN LEGENDS	
LAYOUT & STAKING	SITE UTILITIES
<div><div>+</div>COORDINATE POINT</div> <div><div>P.O.B.</div>POINT OF BEGINNING</div> <div><div><div><div>1</div><div>C100</div></div></div>DETAIL REFERENCE (DETAIL "A" SHEET)</div> <div><div>—</div>HANDRAIL AND/OR GUARDRAIL</div> <div><div><div>—</div><div>G.D.O.T. TYPE 4010 VEHICULAR GUARDRAIL</div></div></div>	<div><div>—W—</div>DOMESTIC WATER</div> <div><div>—F—</div>FIRE MAIN</div> <div><div><div><div>FH</div><div>+</div></div></div>FIRE HYDRANT</div> <div><div><div><div>FIV</div><div>+</div></div></div>POST INDICATOR VALVE</div> <div><div><div><div>TE</div><div>+</div></div></div>CONCRETE THRUST BLOCKING</div> <div><div><div><div>WV</div><div>+</div></div></div>WATER VALVE</div> <div><div><div><div>S</div><div>+</div></div></div>GRAVITY SANITARY SEWER</div> <div><div><div><div>FM</div><div>+</div></div></div>FORCE MAIN</div>
PAVEMENT MARKINGS	GENERAL
<div><div><div>←</div></div>PARKING ARROW - STRAIGHT, WHITE</div> <div><div><div>↶</div></div>PARKING ARROW - TURN, WHITE</div> <div><div><div><div> </div></div></div>PAINTED CROSSWALK - WHITE</div> <div><div><div><div><div> </div><div> </div></div></div>ADA PARKING ACCESS AISLE - BLUE</div></div> <div><div><div><div>STOP</div></div></div>PAINTED WORD "STOP" - WHITE</div> <div><div><div><div>ONLY</div></div></div>PAINTED WORD "ONLY" - WHITE</div>	<div><div><div>—TP—</div></div>TREE PROTECTION FENCE</div> <div><div><div>— —</div></div>LIMITS OF CONSTRUCTION</div> <div><div><div><div>X</div></div></div>EXISTING TREE TO BE REMOVED</div>
SIGNAGE	STORM DRAINAGE
<div><div><div><div>—T—</div></div>SIGN</div><div><div><div><div>STOP</div></div></div>STOP SIGN - MUTCD STANDARD R1-1</div><div><div><div><div>YIELD</div></div></div>YIELD SIGN - MUTCD STANDARD R1-2</div><div><div><div><div>P</div></div></div>NO PARKING SIGN - MUTCD STANDARD R8-3a</div><div><div><div><div>DO NOT ENTER</div></div></div>DO NOT ENTER SIGN - MUTCD STANDARD R5-1</div><div><div><div><div>ONE WAY</div></div></div>ONE WAY SIGN - MUTCD STANDARD R6-2</div></div>	<div><div><div><div>AI</div></div></div>STORM STRUCTURE LABEL</div> <div><div><div><div>HU</div></div></div>HEADWALL</div> <div><div><div><div>FES</div></div></div>FLARED END SECTION - GDOT STANDARD 1122</div> <div><div><div><div>SES</div></div></div>SAFETY END SECTION - GDOT STANDARD 1122</div> <div><div><div><div>CB</div></div></div>CATCH BASIN / GRATE INLET</div> <div><div><div><div>JB</div></div></div>JUNCTION BOX</div> <div><div><div><div>D1 (PED. TOP)</div></div></div>DROP INLET - PEDESTAL TOP</div> <div><div><div><div>CI (1019a)</div></div></div>CURB INLET - GDOT STANDARD 1019a W/ TYPE "E" HOOD</div> <div><div><div><div>SUCB</div></div></div>SINGLE-RING CATCH BASIN - GDOT STANDARD 1033D</div> <div><div><div><div>DUCB</div></div></div>DOUBLE-RING CATCH BASIN - GDOT STANDARD 1034D</div> <div><div><div><div>OCB</div></div></div>OUTLET CONTROL STRUCTURE</div> <div><div><div><div>TOP</div></div></div>TOP OF STRUCTURE ELEVATION</div> <div><div><div><div>TH</div></div></div>THROAT OF STRUCTURE ELEVATION</div> <div><div><div><div>HDPE</div></div></div>HIGH-DENSITY POLYETHYLENE PIPE</div> <div><div><div><div>AST2</div></div></div>ALUMINIZED STEEL TYPE 2 PIPE</div> <div><div><div><div>AST2-SB</div></div></div>AST2 SPIRAL RIB C/P (MANNING'S n=0.012, ULTRAFLOW (TM) OR APPROVED EQUAL</div> <div><div><div><div>DIP</div></div></div>DUCTILE IRON PIPE</div> <div><div><div><div>RCP</div></div></div>REINFORCED CONCRETE PIPE (CLASS IV OR V) W/ RUBBER O-RING GASKET</div> <div><div><div><div>PVC</div></div></div>POLYVINYL CHLORIDE PIPE (SCHEDULE 40)</div> <div><div><div><div>INV. IN</div></div></div>INVERT ELEVATION - IN</div> <div><div><div><div>INV. OUT</div></div></div>INVERT ELEVATION - OUT</div> <div><div><div><div>HGL</div></div></div>HYDRAULIC GRADE LINE</div>
SITE GRADING	
<div><div><div><div>—S2—</div></div>PROPOSED INTERMEDIATE CONTOURS</div><div><div><div><div>—S0—</div></div></div>PROPOSED INDEX CONTOURS</div><div><div><div><div>+50.5</div></div></div>SPOT ELEVATION</div><div><div><div><div>>>>>></div></div></div>BERM</div><div><div><div><div>+HP.</div></div></div>HIGH POINT</div><div><div><div><div>+LP.</div></div></div>LOW POINT</div><div><div><div><div>→</div></div></div>FLOW DIRECTION</div><div><div><div><div>S</div></div></div>SUALL</div><div><div><div><div>2:1</div></div></div>SLOPE INDICATOR (H:V)</div><div><div><div><div>+TU 50.5</div></div></div>FINISHED GRADE AT TOP OF WALL</div><div><div><div><div>+BW 50.5</div></div></div>FINISHED GRADE AT BOTTOM OF WALL</div><div><div><div><div>+TC 50.5</div></div></div>TOP OF CURB ELEVATION</div></div>	

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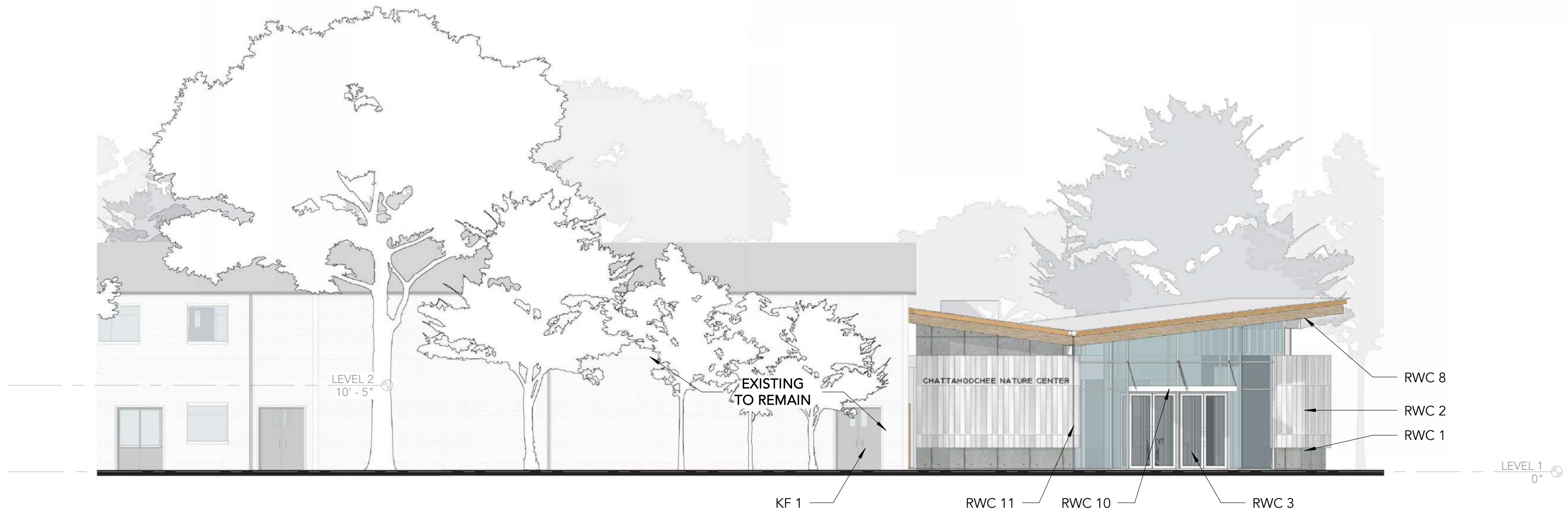
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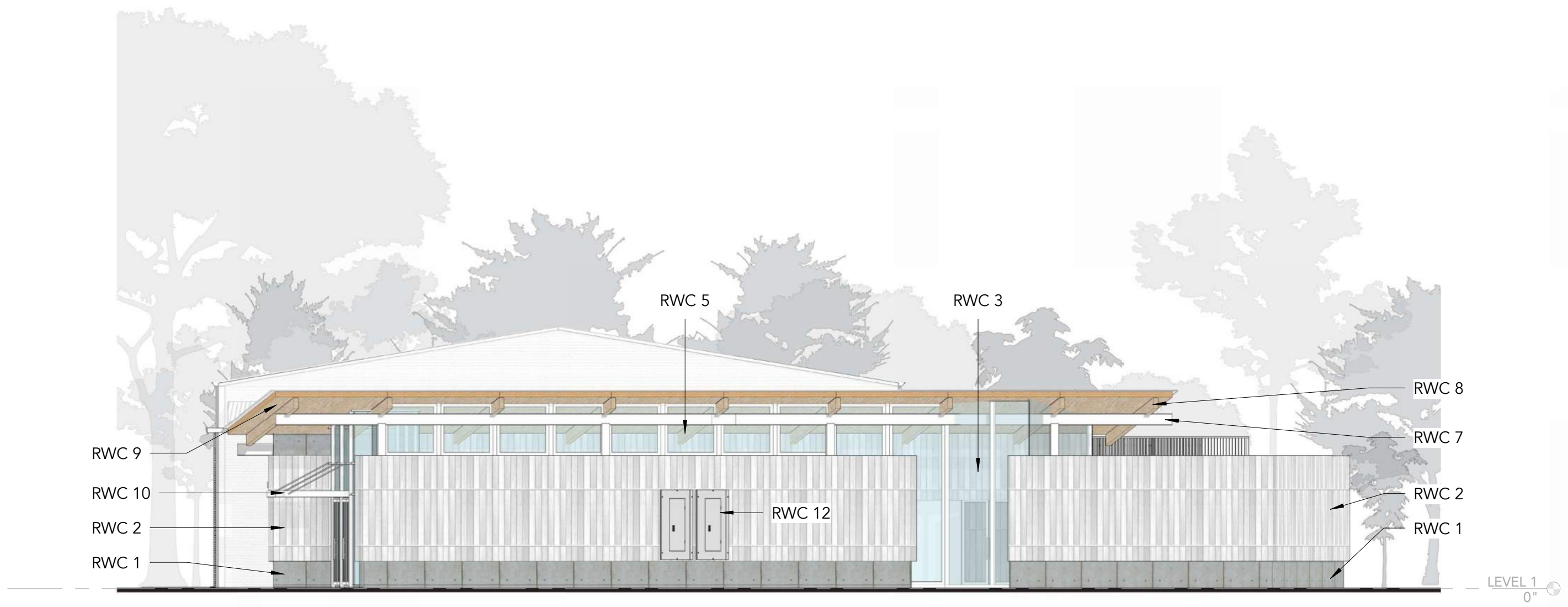
1 RWC & KF ELEVATION - WEST

KINGFISHER HALL

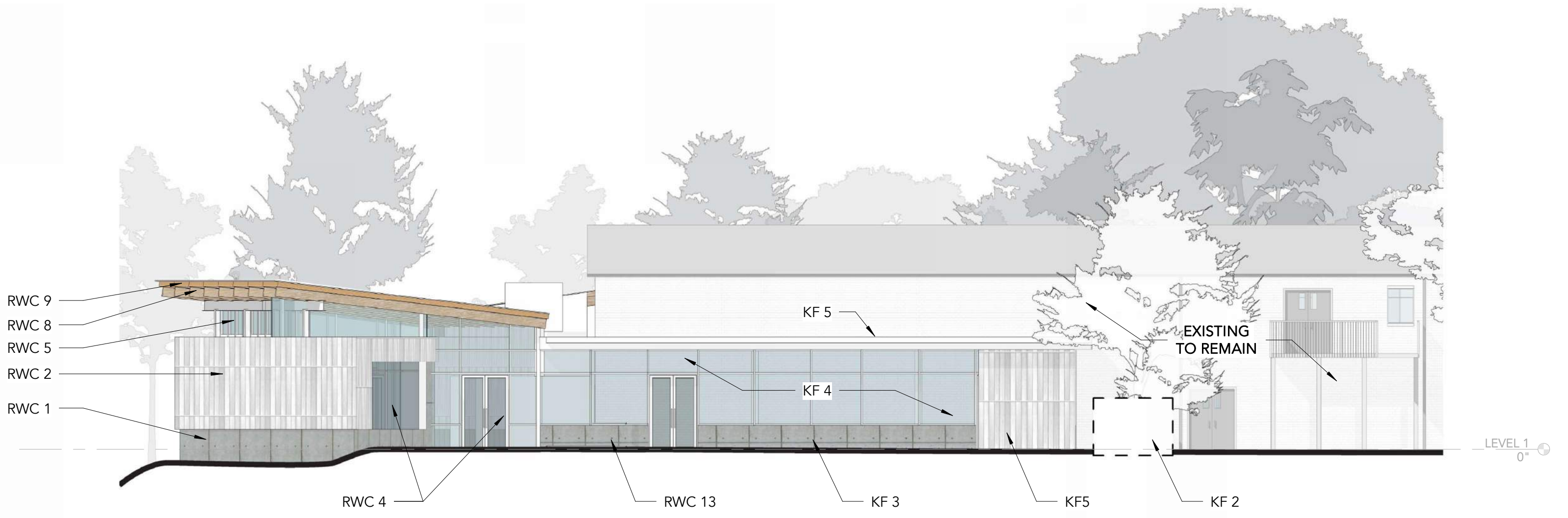
- KF 1. New hollow metal door and frame.
- KF 2. Mechanical yard containing new condenser units and existing gas meter to remain. See mechanical.
- KF 3. Cementitious board on wood stud knee wall.
- KF 4. Storefront glazing
- KF 5. TPO roof on insulation and wood framed roof system.

CHATTAHOOCHEE RIVER WELCOME CENTER

- RWC 1. Cementitious board on wood stud wall.
- RWC 2. Cedar siding on wood stud wall.
Alternate - fiber cement board and batten siding.
- RWC 3. Curtainwall glazing system.
- RWC 4. Storefront glazing system.
- RWC 5. Wood framed clerestory windows.
- RWC 6. Steel columns. See structural.
- RWC 7. Steel beam. See structural.
- RWC 8. LVL wood beams. See structural.
- RWC 9. CLT mass timber wood panel.
- RWC 10. Metal awning canopy over entry doors.
- RWC 11. Rain chain water drainage feature.
- RWC 12. New electrical panels. See electrical.
- RWC 13. Above ground water cistern.



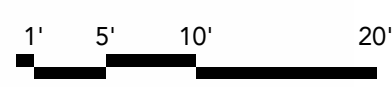
2 RWC & KF ELEVATION - SOUTH



3 RWC & KF ELEVATION - EAST

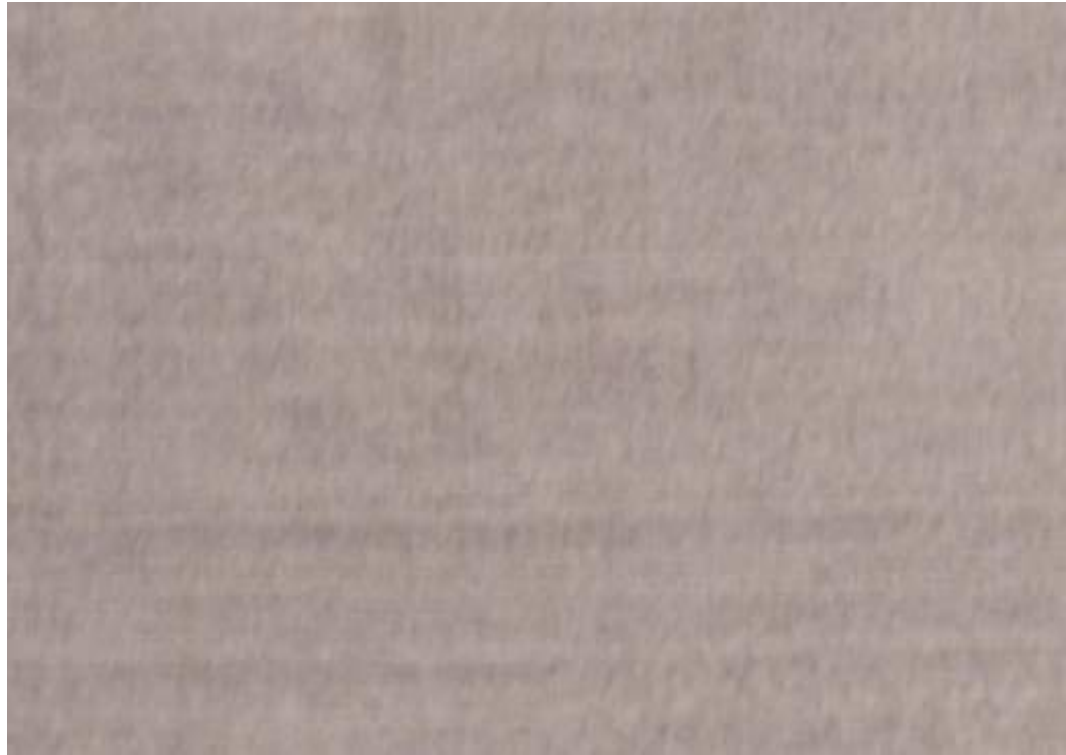
PROPOSED BUILDING ELEVATIONS

CHATTAHOOCHEE NATURE CENTER RENOVATIONS - PHASE 2
KINGFISHER HALL & CHATTAHOOCHEE RIVER WELCOME CENTER



October 30, 2025

A100



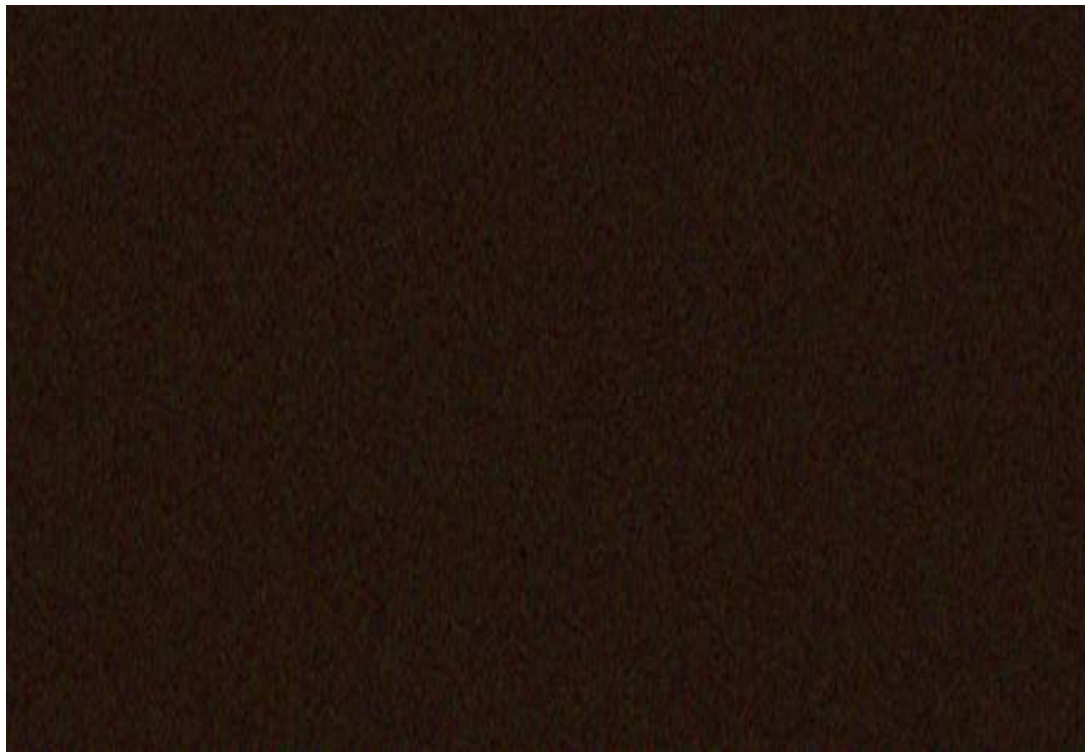
Wood Siding - Cedar Valley
Semi-Transparent
Frasier Gray PP51-13



Wood Siding Precedent Photo
- Nickel gap cedar siding



Smooth grain, board and
batten, fiber cement siding,
painted Pearl Gray or similar



Aluminum Storefront - Kawneer
Dark Bronze - 379A1456



Exposed steel columns & beams
painted dark gray



Thermoplastic Polyolefin
(TPO) Roofing



Bird safe glazing

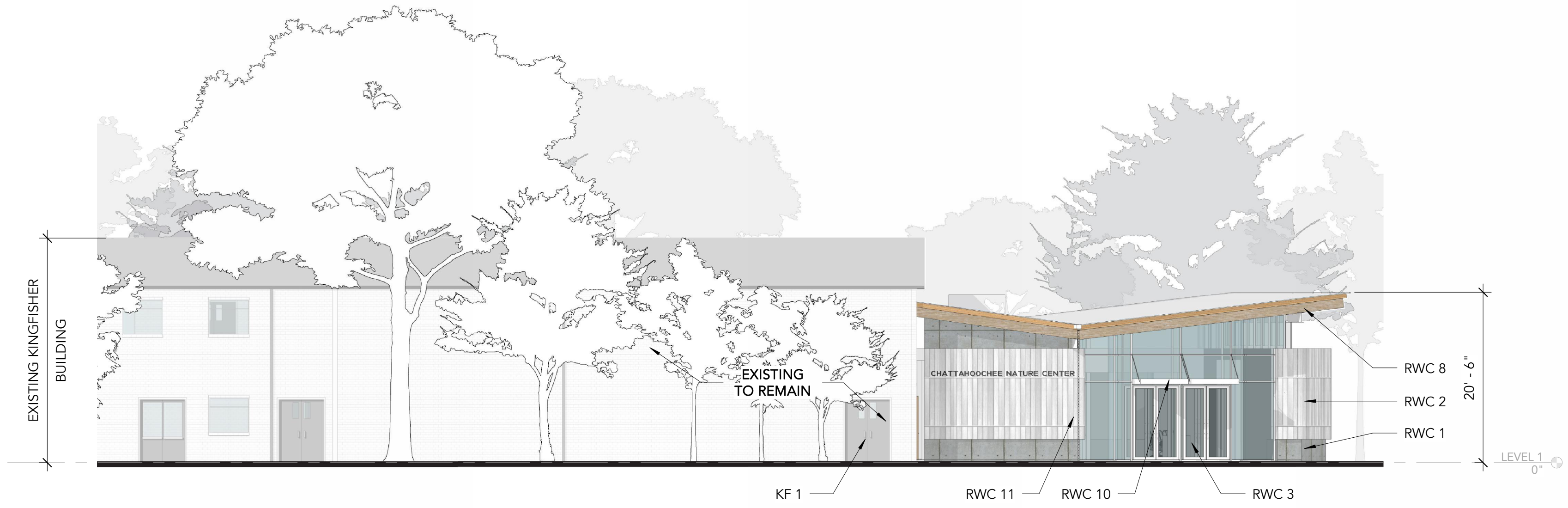


Mass Timber Roof
- CLT roof panels



Mass Timber Roof Precedent Photo
- CLT roof panels

PROPOSED MATERIAL SAMPLES



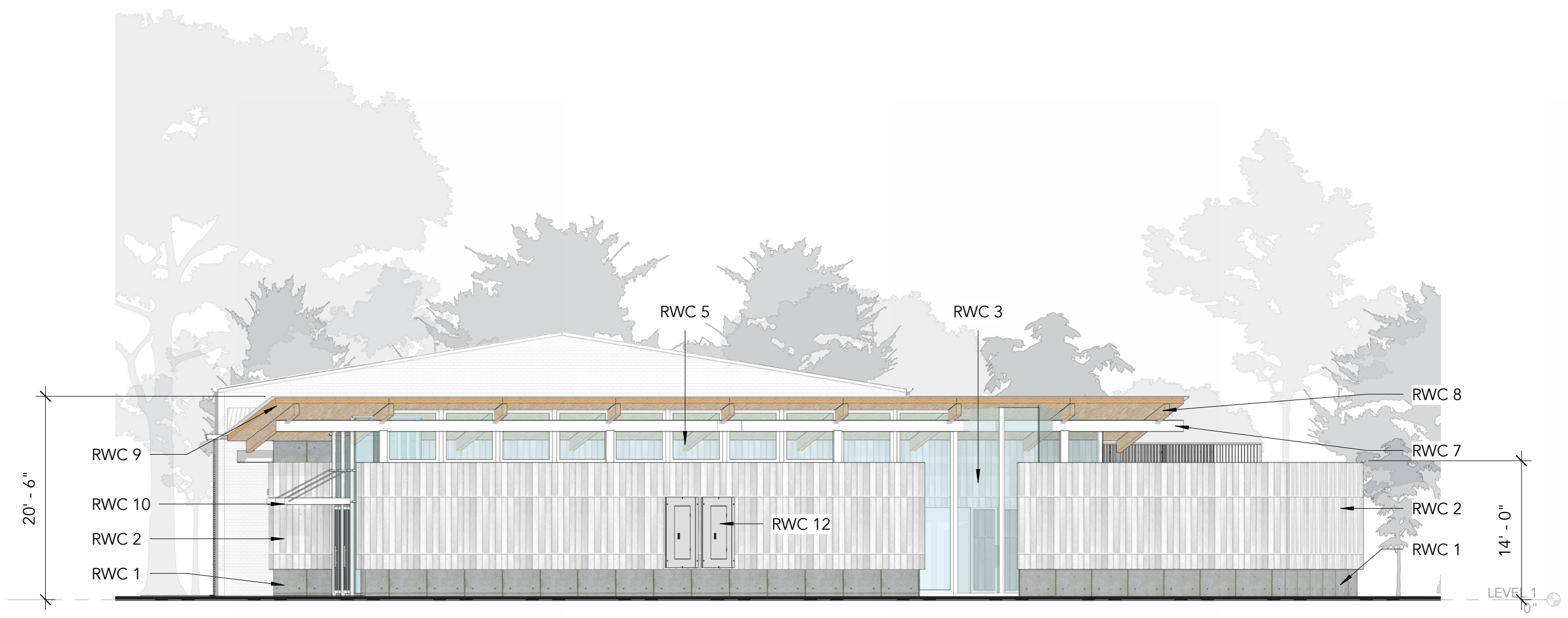
1 RWC & KF ELEVATION - WEST

KINGFISHER HALL

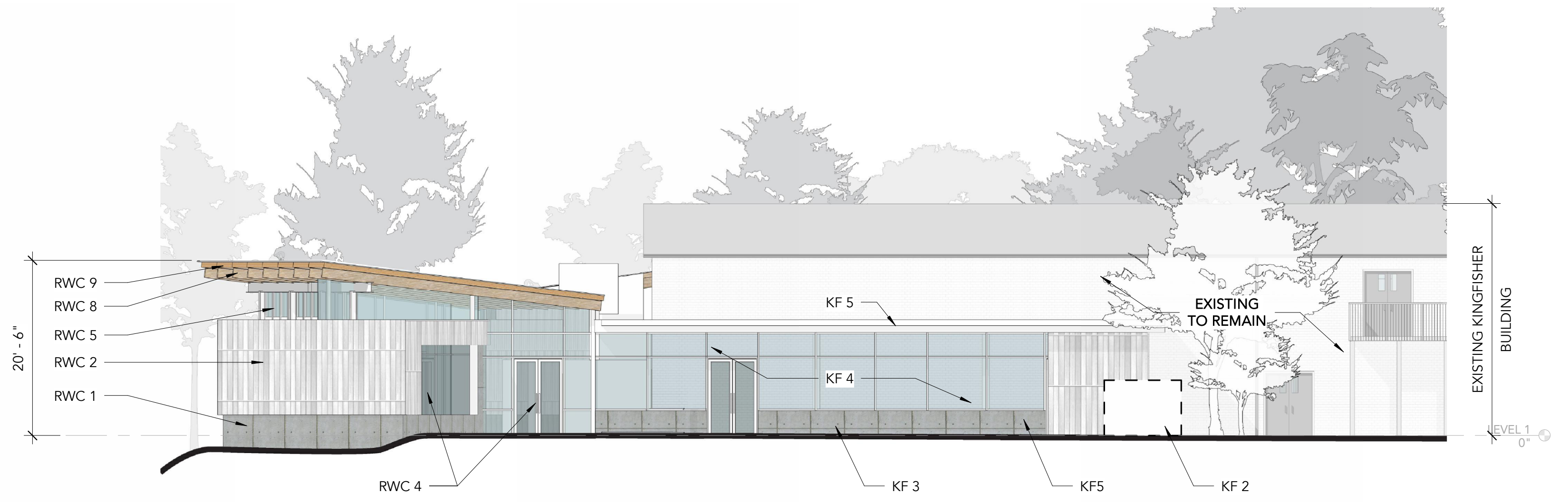
- KF 1. New hollow metal door and frame.
- KF 2. Mechanical yard containing new condenser units and existing gas meter to remain. See mechanical.
- KF 3. Cementitious board on wood stud knee wall.
- KF 4. Storefront glazing
- KF 5. TPO roof on insulation and wood framed roof system.

CHATTAHOOCHEE RIVER WELCOME CENTER

- RWC 1. Cementitious board on wood stud wall.
- RWC 2. Cedar siding on wood stud wall.
Alternate - fiber cement board and batten siding.
- RWC 3. Curtainwall glazing system.
- RWC 4. Storefront glazing system.
- RWC 5. Wood framed clerestory windows.
- RWC 6. Steel columns. See structural.
- RWC 7. Steel beam. See structural.
- RWC 8. LVL wood beams. See structural.
- RWC 9. CLT mass timber wood panel.
- RWC 10. Metal awning canopy over entry doors.
- RWC 11. Rain chain water drainage feature.
- RWC 12. New electrical panels. See electrical.



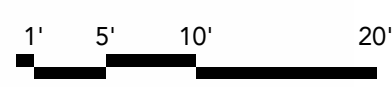
2 RWC & KF ELEVATION - SOUTH



3 RWC & KF ELEVATION - EAST

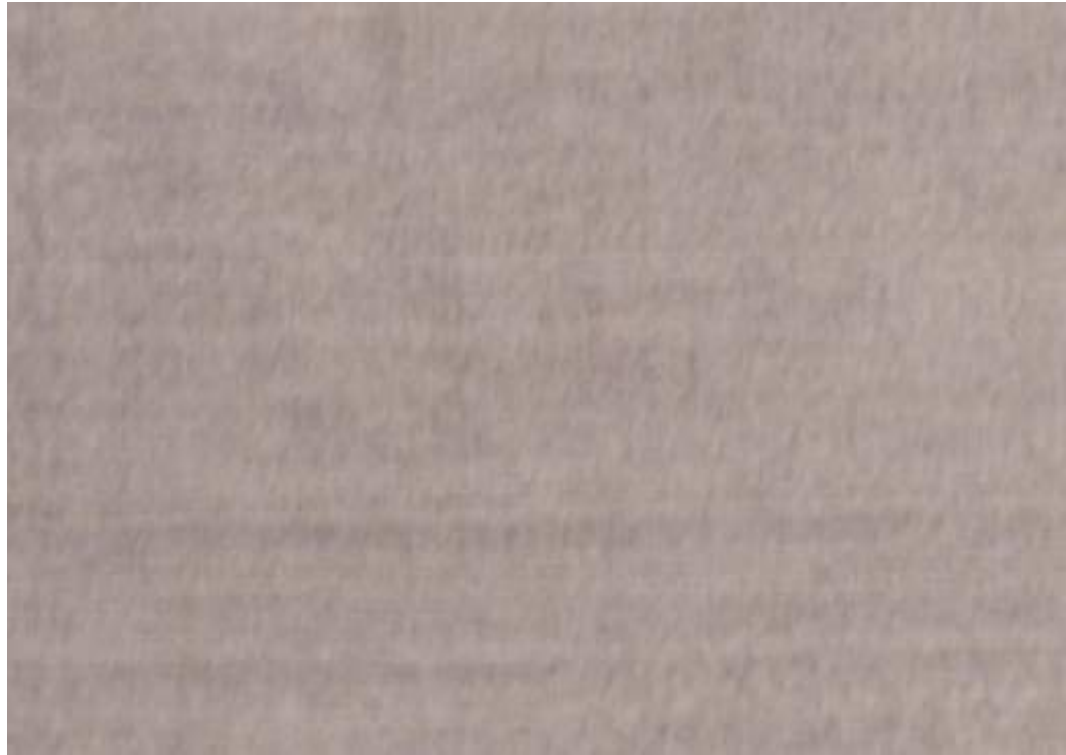
PROPOSED BUILDING ELEVATIONS

CHATTAHOOCHEE NATURE CENTER RENOVATIONS - PHASE 2
KINGFISHER HALL & CHATTAHOOCHEE RIVER WELCOME CENTER



October 30, 2025

A100



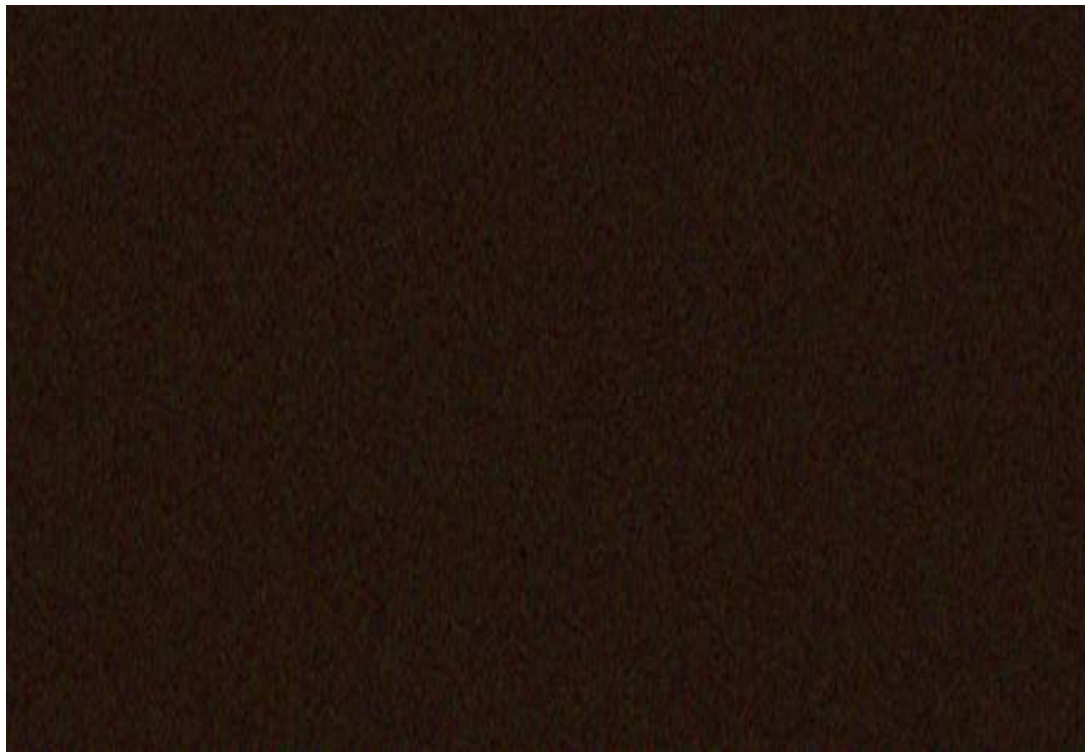
Wood Siding - Cedar Valley
Semi-Transparent
Frasier Gray PP51-13



Wood Siding Precedent Photo
- Nickel gap cedar siding



Smooth grain, board and
batten, fiber cement siding,
painted Pearl Gray or similar



Aluminum Storefront - Kawneer
Dark Bronze - 379A1456



Exposed steel columns & beams
painted dark gray



Thermoplastic Polyolefin
(TPO) Roofing



Bird safe glazing



Mass Timber Roof
- CLT roof panels



Mass Timber Roof Precedent Photo
- CLT roof panels

PROPOSED MATERIAL SAMPLES



CITY OF ROSWELL, GA PLAN APPLICATION SUMMARY (ZDRB-1125-000012)

Plan Type:	Design Review Board - Roswell	Project:		App Date:	11/21/2025
Work Class:	Major	District:		Exp Date:	11/21/2026
Status:	In Review	Square Feet:	0.00	Completed:	
Valuation:	\$4,681,527.00	Assigned To:	Thomasberger, Kristen	Approval	
				Expire Date:	

Description: This letter expresses our intent to review the proposed project in preparation for securing a permit for Phase 2 of the renovations and associated sitework at Chattahoochee Nature Center (CNC). Phase 2 of the renovations will be divided into phase 2A and 2B as described below. Total proposed new construction is 4,900 sf.

Scope of Work - Phase 2A:

- ☐ Renovation of the existing gymnasium of Kingfisher Hall:
 - o Demolition of restrooms at the rear of the gymnasium (new restrooms under separate permit in process), upgrading the fire rating of the corridor wall to a 1 hour rated wall, providing a fire suppression system, new storage closets, suspended ceiling replacement, retrofitted HVAC system, new light fixtures, refinishing the existing exposed concrete floor.
- ☐ Demolition of Plaza Conference Room Building
- ☐ Addition to Kingfisher Hall:
 - o 3,500 sf Chattahoochee River Welcome Center structure and enclosure, which includes the new sprinkler riser room supporting both the new building and the renovated gymnasium.
 - o 1,400 sf addition to Kingfisher Hall gymnasium.
 - o New HVAC and sprinkler systems serving both the existing gymnasium and new additions to be installed allowing CNC to obtain a phased occupancy for the renovated gymnasium prior to the completion of phase 2B. This is critical for CNC as it will allow for their summer camps and school programs to restart sooner, which is their major funding source and allows for an uninterrupted service they provide the metro Atlanta community.

Scope of Work - Phase 2B:

- Complete construction of the new 3,500 sf Chattahoochee River Welcome Center addition and 1,400 sf addition to Kingfisher Hall.
 - o A lobby space to accommodate pre-function and ticketing activities, conference room, administration offices, warming kitchen, HVAC, fire suppression systems, and restrooms.
 - o The roof structure is a two-story height mass timber butterfly roof composed of a thermoplastic polyolefin roofing membrane on cross laminated timber roof panels supported by laminated veneer lumber joists on steel beams and columns. Other portions of the roof not visible from the front entry will be low slope thermoplastic polyolefin roofing on wood decking and trusses.
 - o The exterior facade will be comprised of curtainwall and storefront systems, nickel gap cedar siding, and painted cementitious board at the base. The siding is intended to match the cedar siding in Phase 1 of the project (Meadow Learning Center).
- Sitework associated with the new additions and selective clearing and reshaping of topography in the Meadow Commons. Included in this sitework will be an above ground water basin outside the main entry of the Chattahoochee River Welcome Center for water collection from the runoff of a butterfly roof to be used as a decorative water garden.

Please feel free to reach out with any questions, and we look forward to your comments.

Parcel:	12 -1730-0270-023-5	Main	Address:	9135 Willeo RD Roswell, GA 30075	Main	Zone:	
Contact Name	Address		Email		Cell Phone	Home Phone	Business Ph.
Applicant (Billing Contact)							
Stephen Cook	1819 Peachtree Rd. NE Suite 102, Suite 102 Atlanta, GA 30309		scCook@houserwalker.com				404-633-4264
Applicant							
Luke Spooner			lsponer@gayconstruction.com				404-873-4941
Engineer							
BREEDLOVE LAND PLANNING, INC.	2140 OLD COVINGTON HWY CONYERS, GA 30012		rwells@landplanning.net				770-483-1229
Owner							
Rick Hirsekorn							770-331-2301
Representative							
HOUSER WALKER ARCHITECTURE	1819 PEACHTREE STREET, SUITE 102 ATLANTA, GA 30309		SARAH@HOUSERWALKER.C OM				404-633-4264 xx130
Custom Questions/Answers							

Attachment: 7_Application (ZDRB-1125-000012 - 9135 Willeo Road - Chattahoochee Nature Center)

PLAN SNAPSHOT REPORT (ZDRB-1125-000012)

2.1.g

Estimated Cost : Greater Than \$50,000

Name of Project : Chattahoochee Nature Center Renovations - Phase 2

Current Zoning : REC - Parks and Recreation

Building/Renovation : Addition

If New Construction/Building Addition, enter sq ft : 4800

Site Work : Site work greater than 5000 sq ft.

Date of Pre Application Meeting : Sep 16 2025 12:00AM

Attachment File Name	Added On	Added By	Attachment Group	Notes
DRB C300-2025-11-21-Grading Plan (P&Z)_v1.pdf	11/25/2025 10:17	Cook, Stephen	Available Online	
Signature_Stephen_Cook_11/21/2025.jpg	11/21/2025 02:56	Cook, Stephen		Uploaded via CSS
Invoice No.	Fee	Fee Amount	Amount Paid	
INV-00001304	Design Review Board New	\$650.00	\$650.00	
	Total for Invoice INV-00001304	\$650.00	\$650.00	
	Grand Total for Plan	\$650.00	\$650.00	

Condition	Description	Date Created	Enabled	Satisfied
General Condition	Approved with conditions. Conditions include providing full runoff reduction calculations during the LDP submittal.	11/24/2025	No	No
AWC - Grading	Grading is to be completed in a manner to ensure that stormwater runoff under post-developed conditions does not adversely impact adjacent parcels or lots as a result of concentrated flows, flooding, and impediment of flows, erosion, or deposits of silt or sediment.	11/24/2025	No	No
Impervious change general	The applicant is advised that at any point during demolition and construction operations, if the limits of proposed impervious exceed the limits shown on the approved plans, a stop work order will be issued and a revision to the construction plans will be needed to account for any added impervious on the site.	11/24/2025	No	No

Submittal Name	Status	Received Date	Due Date	Complete Date	Resubmit	Completed
Design Review v.1	Approved	11/24/2025	12/02/2025	11/25/2025	No	Yes
Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Tree	Tree	Sommet, Laura	Approved with Comments	11/24/2025	12/02/2025	11/24/2025
Comments: Specimen tree calculations have been updated correctly and tree protection fence updated.						
Stormwater	Stormwater	Watts, Adam	Approved with Conditions	11/24/2025	12/02/2025	11/24/2025
Comments: Reviewer: Adam Watts awatts@roswellgov.com 770-741-3711 P&Z DRB						
	Planning & Zoning	Thomasberger, Kristen	Ready for Agenda	11/24/2025	12/02/2025	11/25/2025
Comments: Ready for Agenda with the following recommendation: Staff comments must be addressed at requisite permit stage.						
Recommendation					Create Date	
Ready for Agenda with the following recommendation: Staff comments must be addressed at requisite permit stage.					11/25/2025	
Engineering	Engineering	Smith, Lee	Approved	11/24/2025	12/02/2025	11/24/2025

Attachment: 7_Application (ZDRB-1125-000012 - 9135 Willeo Road - Chattahoochee Nature Center)



City of Roswell
Design Review Board
AGENDA ITEM REPORT

ID # - 10110

MEETING DATE: December 9, 2025

DEPARTMENT: Community Development

ITEM TYPE: Public Hearing

ZUSE-1025-000001- 1050 Holcomb Bridge Road - QuikTrip Conditional Use

Item Summary:

Applicant is requesting a Conditional Use for a new service station with convenience store at 1050 Holcomb Bridge Road. This item is currently beginning the public hearing process which includes a preliminary review discussion with the Design Review Board.

Committee or Staff Recommendation:

This is a discussion only

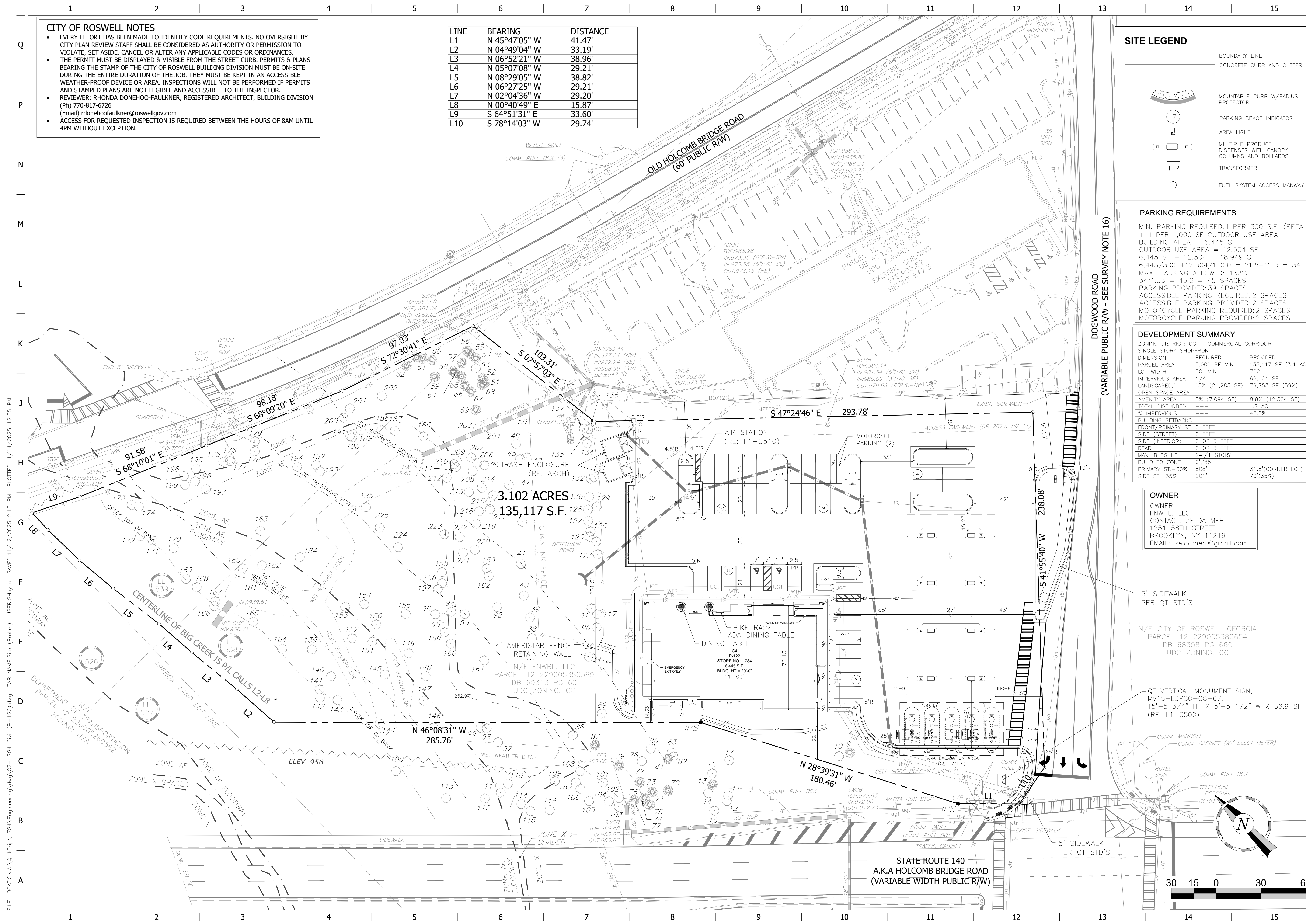
Financial Impact: N/A

Recommended Motion:

_No vote taken- Discussion Only

Presented by:

Kristen Thomasberger, Planner II



CITY OF ROSWELL NOTES

- EVERY EFFORT HAS BEEN MADE TO IDENTIFY CODE REQUIREMENTS. NO OVERSIGHT BY CITY PLAN REVIEW STAFF SHALL BE CONSIDERED AS AUTHORITY OR PERMISSION TO VIOLATE, SET ASIDE, CANCEL OR ALTER ANY APPLICABLE CODES OR ORDINANCES.
- THE PERMIT MUST BE DISPLAYED & VISIBLE FROM THE STREET CURB. PERMITS & PLANS BEARING THE STAMP OF THE CITY OF ROSWELL BUILDING DIVISION MUST BE ON-SITE DURING THE ENTIRE DURATION OF THE JOB. THEY MUST BE KEPT IN AN ACCESSIBLE WEATHER-PROOF DEVICE OR AREA. INSPECTIONS WILL NOT BE PERFORMED IF PERMITS AND STAMPED PLANS ARE NOT LEGIBLE AND ACCESSIBLE TO THE INSPECTOR.
- REVIEWER: RHONDA DONEHOOF-FAULKNER, REGISTERED ARCHITECT, BUILDING DIVISION (Ph) 770-817-6726 (Email) rdonehoofaulkner@roswellgov.com
- ACCESS FOR REQUESTED INSPECTION IS REQUIRED BETWEEN THE HOURS OF 8AM UNTIL 4PM WITHOUT EXCEPTION.

LINE	BEARING	DISTANCE
L1	N 45°47'05" W	41.47'
L2	N 04°49'04" W	33.19'
L3	N 06°52'21" W	38.96'
L4	N 05°07'08" W	29.21'
L5	N 08°29'05" W	38.82'
L6	N 06°27'25" W	29.21'
L7	N 02°04'36" W	29.20'
L8	N 00°40'49" E	15.87'
L9	S 64°51'31" E	33.60'
L10	S 78°14'03" W	29.74'

SITE LEGEND

- BOUNDARY LINE
- CONCRETE CURB AND GUTTER
- MOUNTABLE CURB W/RADIUS PROTECTOR
- PARKING SPACE INDICATOR
- AREA LIGHT
- MULTIPLE PRODUCT DISPENSER WITH CANOPY COLUMNS AND BOLLARDS
- TRANSFORMER
- FUEL SYSTEM ACCESS MANWAY

PARKING REQUIREMENTS

MIN. PARKING REQUIRED: 1 PER 300 S.F. (RETAIL)
+ 1 PER 1,000 SF OUTDOOR USE AREA
BUILDING AREA = 6,445 SF
OUTDOOR USE AREA = 12,504 SF
6,445 SF + 12,504 = 18,949 SF
6,445/300 + 12,504/1,000 = 21.5+12.5 = 34
MAX. PARKING ALLOWED: 133%
34*1.33 = 45.2 = 45 SPACES
PARKING PROVIDED: 39 SPACES
ACCESSIBLE PARKING REQUIRED: 2 SPACES
ACCESSIBLE PARKING PROVIDED: 2 SPACES
MOTORCYCLE PARKING REQUIRED: 2 SPACES
MOTORCYCLE PARKING PROVIDED: 2 SPACES

DEVELOPMENT SUMMARY

ZONING DISTRICT: CC - COMMERCIAL CORRIDOR		
SINGLE STORY SHOPFRONT		
DIMENSION	REQUIRED	PROVIDED
PARCEL AREA	5,000 SF MIN.	135,117 SF (3.1 AC.)
LOT WIDTH	50' MIN	702'
IMPERVIOUS AREA	N/A	62,124 SF
LANDSCAPED/ OPEN SPACE AREA	15% (21,283 SF)	79,753 SF (59%)
AMENITY AREA	5% (7,094 SF)	8.8% (12,504 SF)
TOTAL DISTURBED	---	1.7 AC.
% IMPERVIOUS	---	43.8%
BUILDING SETBACKS		
FRONT/PRIMARY ST	0 FEET	
SIDE (STREET)	0 FEET	
SIDE (INTERIOR)	0 OR 3 FEET	
REAR	0 OR 3 FEET	
MAX. BLDG HT.	24' / 1 STORY	
BUILD TO ZONE	0' / 85'	
PRIMARY ST - 60%	508'	31.5' (CORNER LOT)
SIDE ST - 35%	201'	70' (35%)

OWNER
OWNER
FNWRL, LLC
CONTACT: ZELDA MEHL
1251 58TH STREET
BROOKLYN, NY 11219
EMAIL: zeldamehl@gmail.com

N/F CITY OF ROSWELL, GEORGIA
PARCEL 12 229005380654
DB 68358 PG 660
UDC ZONING: CC

QT VERTICAL MONUMENT SIGN,
MV15-E3PCQ-CC-67,
15'-5 3/4" HT X 5'-5 1/2" W X 66.9 SF
(RE: L1-C500)

GEORGIA
REGISTERED
No. 033637
PROFESSIONAL
ENGINEER
Paul Meyer
11/14/25
GSWCC LEVEL II CERT. NO. 58941
GSWCC CERT. EXP. 09/01/27
PROJECT NO.: 039.053

FALCON DESIGN CONSULTANTS
ENGINEERING PLANNING
CONST. MGMT.
SURVEYING LANDSCAPE
ARCHITECTURE
SUITE C
CUMMING, GA 30040
PH: (678) 807-7100
www.fdc-llc.com

QuikTrip No. 1784
1050 HOLCOMB BRIDGE ROAD
ROSWELL, GEORGIA
LAND LOTS 538 & 539 ~ 1ST DISTRICT ~ 2ND SECTION
FULTON COUNTY, GEORGIA

QT

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PROTOTYPE: P-122 (5/15/25)
DIVISION:
VERSION: 001
DESIGNED BY:
DRAWN BY:
REVIEWED BY:

REV. DATE. DESCRIPTION. PER CITY COMMENTS.

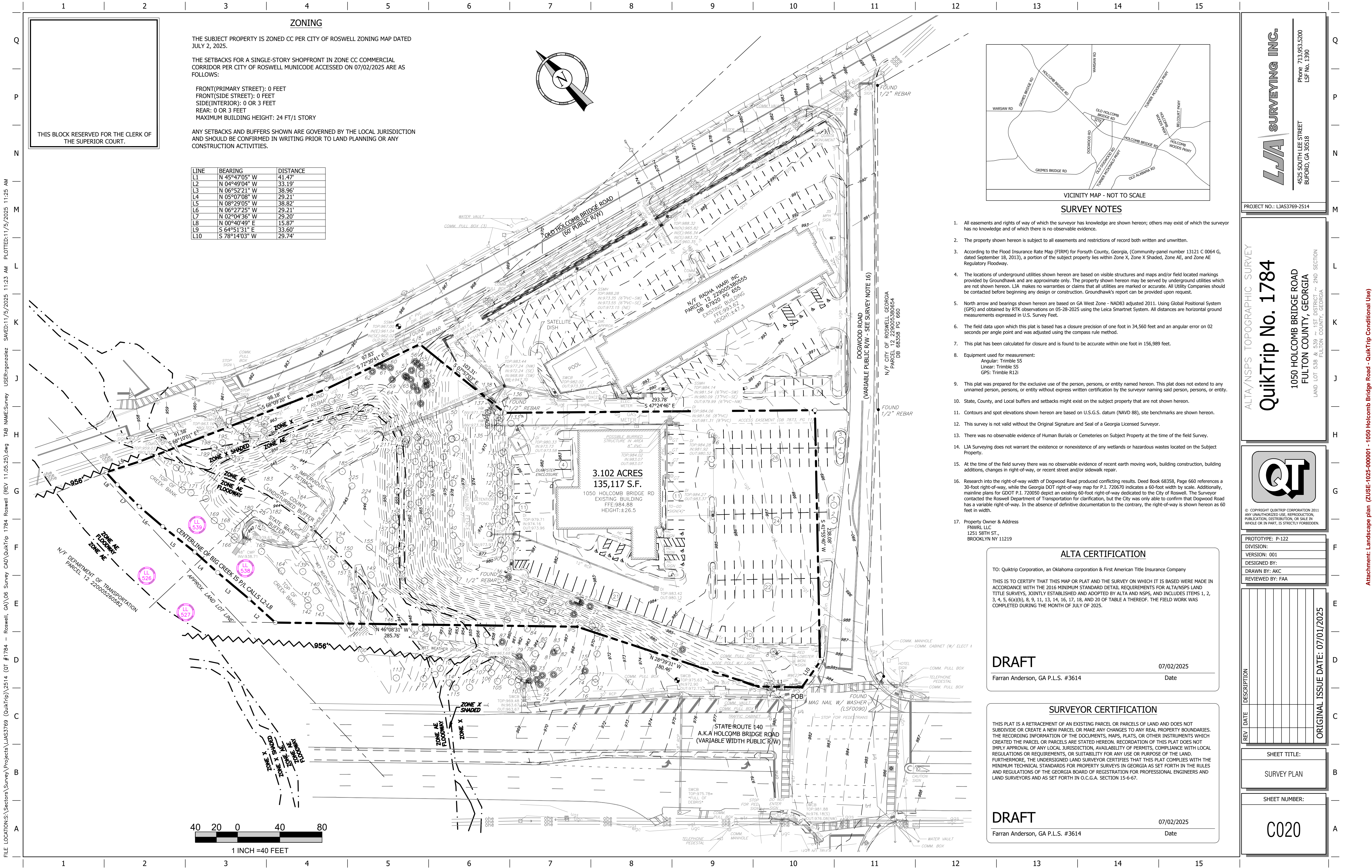
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ORIGINAL ISSUE DATE:

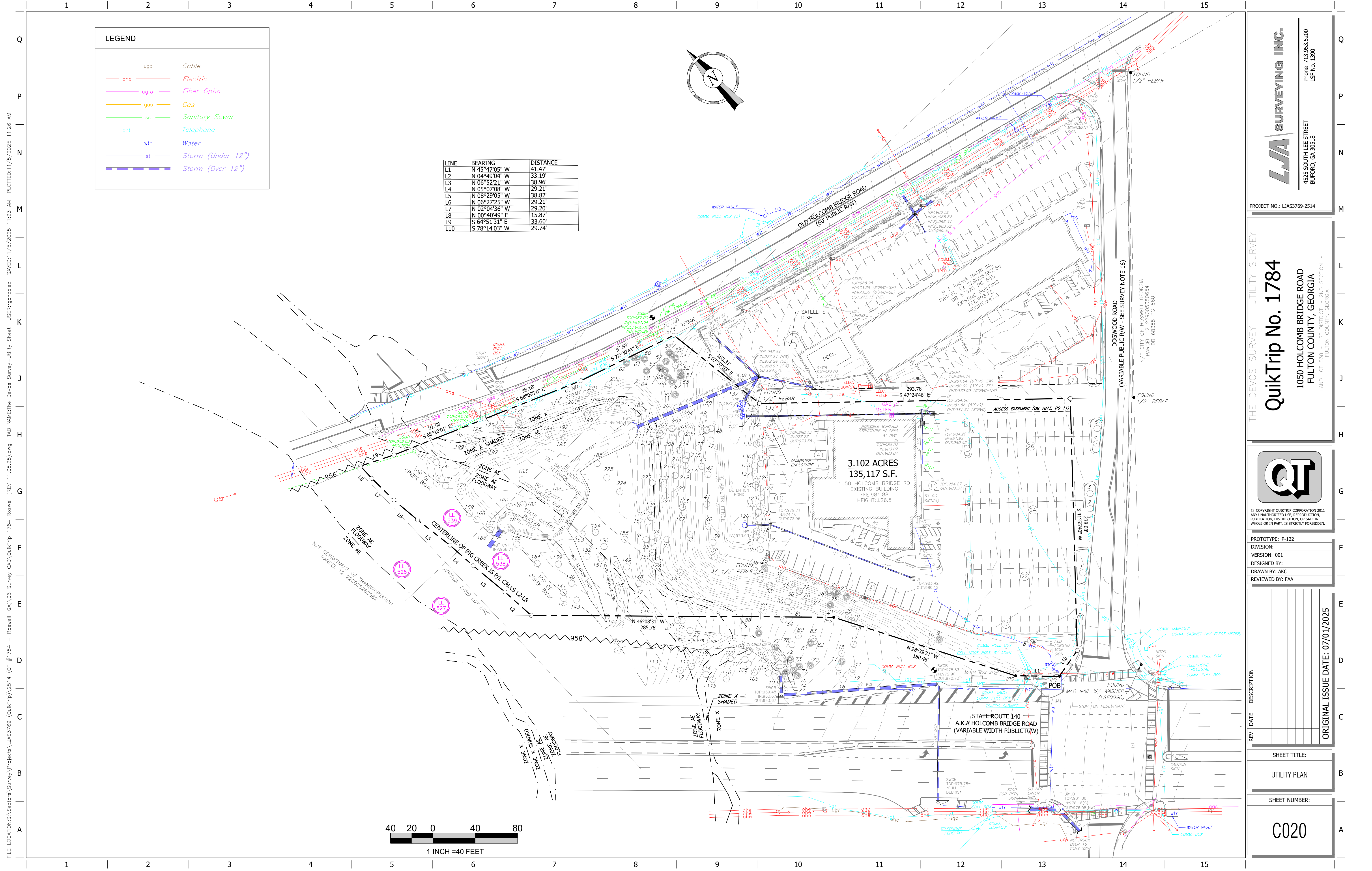
SHEET TITLE:
SITE (PRELIM)

SHEET NUMBER:
2

FILE: LOCATION\QuikTrip\1784\Engineering\dwg\07-1784_Civil (P-122).dwg TAB: NAME: Site (Prelim) USER: S.Hoyes SAVED: 11/12/2025 2:15 PM PLOTTED: 11/14/2025 12:55 PM



[illegible]



FILE: LOCATION\MS\Sectors\Survey\Projects\UAS3769 (QuikTrip)\2514 (QT # 1784 - Roswell, GA)\DE Survey CAD\QuikTrip 1784 Roswell (REV 11.05.25).dwg TAB NAME:The Devos Survey-Utility Sheet USER:rgonzalez SAVED:11/5/2025 11:26 AM PLOTTED:11/5/2025 11:26 AM

LJA

SURVEYING INC.

4525 SOUTH LEE STREET
BUFORD, GA 30518

Phone 713.953.5200
LSF No. 1390

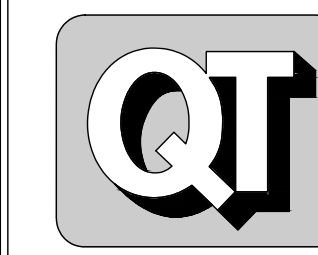
PROJECT NO.: UAS3769-2514

THE DEVOS SURVEY - UTILITY SURVEY

QuikTrip No. 1784

1050 HOLCOMB BRIDGE ROAD
FULTON COUNTY, GEORGIA

LAND LOT 638 ~ 1ST DISTRICT ~ 2ND SECTION ~
FULTON COUNTY, GEORGIA



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PROTOTYPE:	P-122
DIVISION:	
VERSION:	001
DESIGNED BY:	
DRAWN BY:	AKC
REVIEWED BY:	FAA

REV	DATE	DESCRIPTION

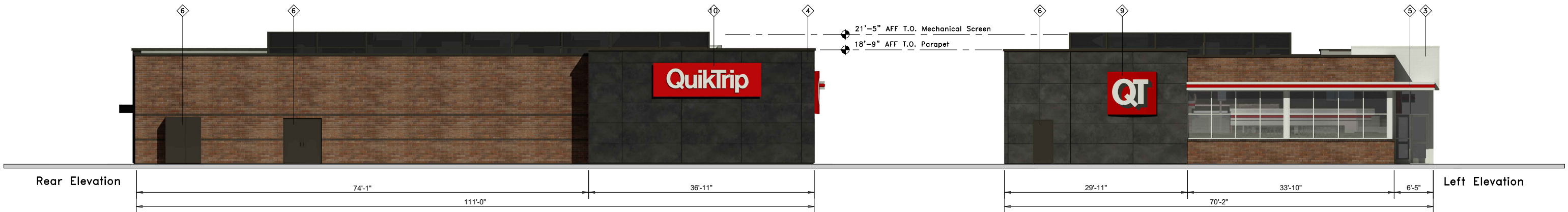
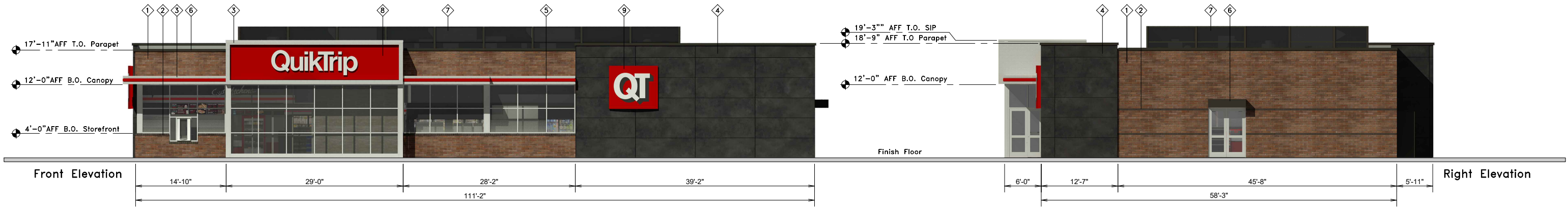
SHEET TITLE:

UTILITY PLAN

SHEET NUMBER:

C020

ORIGINAL ISSUE DATE: 07/01/2025



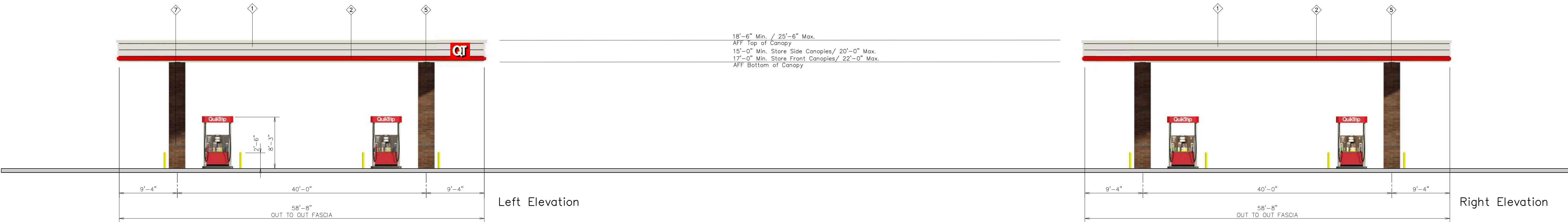
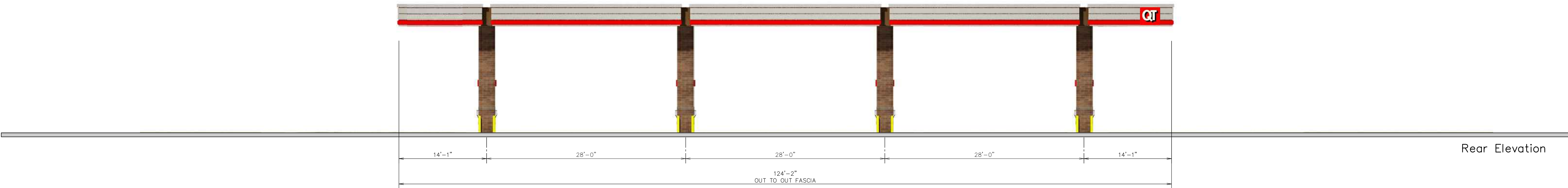
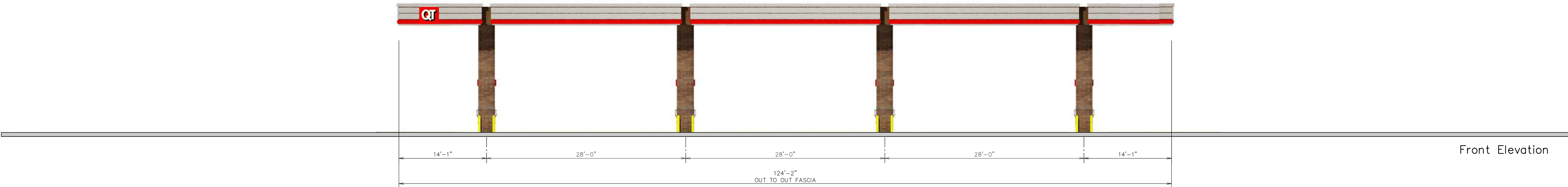
QuikTrip.
4705 South 129th East Ave.
Tulsa, OK 74134-7008
P.O. Box 3475
Tulsa, OK 74101-3475
(918) 615-7700

Store # 1784	G4 Building Elevations	Address: Intersection of Holcomb Bridge Rd & Dogwood Rd	City, State: Roswell, GA
Serial # 06-0677-G4-CB	Scale: 1/16"=1'-0"	Issue Date: 07.11.25	Drawn By: JK
		Rev/Notes: 1. [unclear]	
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#	FINISH	MANUFACTURER	SPECIFICATION
1	BRONZESTONE	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
2	MIDNIGHT	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
3	BRUSHED ALUMINUM	REYNOLDS	FASCIA
4	OSSIDO NERO	CROSSVILLE	EXTERIOR TILE
5	RED POLYCARBONATE	ALLEN INDUSTRIES	ILLUMINATED BAND
6	QT BROWN	SHERWIN-WILLIAMS	METAL PAINT
7	BLACK	ALL COURT FABRICS	POLYPRO 95 MESH
8	CL-60	ALLEN INDUSTRIES	SIGNAGE
9	ICB-56	ALLEN INDUSTRIES	ILLUMINATED SIGNAGE
10	CL-44	ALLEN INDUSTRIES	ILLUMINATED SIGNAGE

Packet Pg. 35

Attachment: QT Roswell Building Elevations (ZUSE-1025-000001 - 1050 Holcomb Bridge Road - QuikTrip Conditional Use)



QuikTrip.
4705 South 129th East Ave.
Tulsa, OK 74134-7008
P.O. Box 3475
Tulsa, OK 74101-3475
(918) 615-7700

Store # 1784 DS8

Serial # 07-1784-GD08

Scale: 1/8" = 1'-0"

Issue Date: 08-08-25

Address: Holcomb Bridge Rd & Dogwood Rd

Drawn By: JK

Rev/Notes:	

City, State: Roswell, GA

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①	FINISH	MANUFACTURER	SPECIFICATION
1	BRUSHED ALUMINUM	REYNOLBOND	CANOPY
2	RED POLYCARBONATE	ALLEN INDUSTRIES	ILLUMINATED BAND
3	QT BROWN	SHERWIN - WILLIAMS	METAL PAINT
4	100-20	ALLEN INDUSTRIES	ILLUMINATED SIGNAGE
5	BRONZESTONE	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
6	BLACK	ALL COURT FABRICS	POLYPRO 95 MESH
7	MIDNIGHT	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK



RECEIVED

3.2.d

By City of Roswell Planning & Zoning at 2:49 pm, Oct 08, 2025

Dakota Carruthers

t: 678.690.5710

f: 404.869.6972

dakotacarruthers@parkerpoe.com

Atlanta, GA
Charleston, SC
Charlotte, NC
Columbia, SC
Greenville, SC
Raleigh, NC
Spartanburg, SC
Washington, DC

October 8, 2025

Via E-mail [planningandzoning@roswellgov.com]

Jeannie Peyton, Planning & Zoning Director
City of Roswell
38 Hill Street, Suite G-30
Roswell, GA 30075

Re: Letter of Intent regarding Conditional Use Application ("**Application**") by QuikTrip Corporation ("**Applicant**") for a convenience store with fuel pumps at 1050 Holcomb Bridge Road, Roswell, Georgia 30076, Tax Parcel Number 12 229005380589 (the "**Property**")

Ladies and Gentlemen:

This law firm has the pleasure of representing Applicant with respect to a proposed Application to operate a convenience store with fuel pumps as a conditional use on the Property.

Existing Conditions and Proposed Redevelopment

The Property is approximately 3.102-acres located on the northern side of Holcomb Bridge Road and west of Dogwood Road, and is owned by ARCP RL Portfolio VIII LLC ("**Owner**"). The Property is improved with a now-vacant building and accessory parking, which once housed a Red Lobster restaurant and which is sitting unutilized today. Applicant is under contract with Owner for the potential redevelopment of the Property.

The Property is zoned CC, Commercial Corridor, and is located within the Downtown Development Overlay District. CC zoned parcels border the Property in all directions, with RM-3 properties adjacent to these to the north and south. Applicant intends to seek approval of the conditional use to allow redevelopment of the Property as a QuikTrip-branded store to include approximately 6,445 square feet of store space with 8 fuel pumps under a single canopy. This redevelopment will provide a convenient, neighborhood- serving retail use that will activate the vacant Property, improving the visual aesthetic and bringing the Property into compliance with current City of Roswell Unified Development Code ("**UDC**") standards.

The Property is located within the Commercial Mixed Use Character Area under the City of Roswell 2040 Comprehensive Plan ("**Comprehensive Plan**"). The proposed redevelopment of a vacant restaurant and excess parking area along a major node into a small scale, neighborhood serving, commercial use conforms with implementation strategies of the character area under the Comprehensive Plan for redevelopment of declining and vacant commercial buildings. The

City of Roswell

September 30, 2025

Page 2

Application is also consistent with the policy vision of the character area goal which encourages redevelopment with a mix of uses characterized by high quality building materials.

Applicant is proposing its new generation building elevations including a sleek and modern design with enhanced architectural features. The first and only location featuring these elevations in the QuikTrip United States portfolio recently opened in Tulsa, Oklahoma. If approved, this design will be the first in the State of Georgia.

Currently, the Property is legally non-conforming to the current UDC standards in a number of ways. The Application, if approved, will ensure the Property is redeveloped in full compliance with current UDC standards and will provide reinvestment in to the Holcomb Bridge Road corridor in a manner consistent with the Comprehensive Plan and Downtown Development Overlay District. Applicant strategically selects new sites based on existing area needs and provides an exemplary serviced-based use despite same or similar uses operating in close proximity to the Property. The proposed development is not expected to significantly impact the roadway network surrounding the Property based on the traffic impact study completed by Keck & Wood submitted as part of this Application.

Application Requirements

The City of Roswell Public Hearing Application sets forth the requirements applicable to CUP applications, some of which are addressed above and the remainder of which are addressed in supporting documents. Specifically, in support of the Application, Applicant submits the following documents:

1. Completed Application Form;
2. Application Fee;
3. Written Decision Criteria Analysis;
4. Campaign Disclosure Statement Form;
5. Legal Description;
6. Letter of Intent;
7. Traffic Impact Study;
8. Proof of Stormwater Concept Meeting;
9. Property Survey;
10. Site Plan with Development Statistics Chart;
11. Building and Site Elevations; and
12. Sign Package.

Applicant welcomes the opportunity to meet with the City of Roswell Community Development Department staff to answer any questions or to address any concerns relating to this proposed Application. Applicant respectfully requests your favorable consideration of this Application¹

¹ Applicant notifies the City of Roswell of its constitutional concerns with respect to its Application. If the Roswell City Council (the “**City Council**”) denies the Application in whole or in part, then the Property

Sincerely,

Dakota Carruthers

Dakota Carruthers
 Entitlements Manager

DC/dc

cc: Brian Moura
 Ellen W. Smith

does not have a reasonable economic use under the UDO. Moreover, the Application meets the test set out by the Georgia Supreme Court to be used in establishing the constitutional balance between private property rights and zoning and planning as an expression of the government's police power. See *Guhl vs. Holcomb Bridge Road*, 238 Ga. 322 (1977). If the City Council denies the Application in whole or in part, such an action will deprive Applicant of the ability to use the Property in accordance with its highest and best use. Similarly, if the City Council issues a CUP different from that requested or rezones the Property to some classification other than CC without Applicant's consent, or if the City Council or limits its approval by attaching conditions to such approval affecting the Property or the use thereof without Applicant's consent, then such approval would deprive Applicant of any reasonable use and development of the Property. Any such action is unconstitutional and will result in a taking of property rights in violation of the just compensation clause of the Constitution of the State of Georgia (see Ga. Const. 1983, Art. I, § 3, para. 1(a)), and the just compensation clause of the Fifth Amendment to the United States Constitution (see U.S. Const. Amend. 5). To the extent that the UDO allows such an action by the Council, the Zoning Ordinance is unconstitutional. Any such denial or conditional approval would discriminate between Applicant and owners of similarly situated property in an arbitrary, capricious, unreasonable and unconstitutional manner in violation of Article I, Section I, Paragraph 2 of the Georgia Constitution and the Equal Protection Clause of the Fourteenth Amendment to the United States Constitution. Also, a failure to grant the Application or a conditional approval of the Application (with conditions not expressly approved by Applicant) would constitute a gross abuse of discretion and would constitute an unconstitutional violation of Applicant's rights to substantive and procedural due process as guaranteed by the Georgia Constitution (see Ga. Const. 1983, Art. I, § 1, para. 1) and the Fifth and Fourteenth Amendments of the United States Constitution (see U.S. Const. Amend. 5 and 14). Applicant further challenges the constitutionality and enforceability of the UDO, in whole and in relevant part, for lack of objective standards, guidelines or criteria limiting the City Council's discretion in considering or deciding applications for rezonings. Nevertheless, Applicant remains optimistic that City Council's consideration of the Application will be conducted in a constitutional manner.



City of Roswell
Design Review Board
AGENDA ITEM REPORT

ID # - 10143

MEETING DATE: December 9, 2025

DEPARTMENT: Design Review Board

ITEM TYPE: Calendar approval

2026 DRB Meeting Dates

Item Summary:

Committee or Staff Recommendation:

On (date) the (name of Committee) Committee recommended placing this Item on the (date) Mayor and Council Agenda.

Financial Impact:

Recommended Motion:

Presented by:

2026 DRB MEETING DATES

The Design Review Board (DRB) meetings are held in City Hall Council Chambers at 6:30 PM on the first Tuesday of each month.

- Tuesday, January 6, 2026
- Tuesday, February 3, 2026
- Tuesday, March 3, 2026
- Tuesday April 7, 2026
- Tuesday, May 5, 2026
- Tuesday, June 2, 2026
- Tuesday July 7, 2026
- Tuesday, August 4, 2026
- Tuesday, September 1, 2026
- Tuesday, October 6, 2026
- ~~Tuesday, November 3, 2026~~ Thursday, November 5, 2026 – Moved due to Election Day
- Tuesday, December 1, 2026
- Tuesday, January 5, 2027 – Vote to hold or cancel January meeting



City of Roswell
Design Review Board
AGENDA ITEM REPORT

ID # - 10214

MEETING DATE: December 9, 2025

DEPARTMENT: Design Review Board

ITEM TYPE: Minutes

November 6, 2025 DRB Minutes

Item Summary:

Committee or Staff Recommendation:

On (date) the (name of Committee) Committee recommended placing this Item on the (date) Mayor and Council Agenda.

Financial Impact:

Recommended Motion:

Presented by:



Design Review Board

Regular Meeting
<http://www.roswellgov.com/>
 ~Minutes~

Chair Jeffrey Green
 Vice Chair Mark Stovall
 Board Member Ian Atkinson
 Board Member Michael Guobaitis
 Board Member Arie Kohn
 Board Member Phiffer Reed

Thursday, November 6, 2025

6:30 PM

City Hall - Council Chambers

**** Possible Quorum of Mayor and City Council ****

Welcome

I. Call to Order

The meeting was called to order at 6:30 PM by Vice Chair Mark Stovall
 Chair Jeffrey Green: Absent, Vice Chair Mark Stovall: Present, Board Member Ian Atkinson: Absent, Board Member Michael Guobaitis: Present, Board Member Arie Kohn: Present, Board Member Phiffer Reed: Present, Planner II Kristen Thomasberger: Present.

II. Initial

1. 20254466 - 10965 Woodstock Rd - Fellowship Christian School Dining & Classroom Addition

The DRB voted unanimously to hear this item as a final. Approved with the following staff conditions:

1. *All staff comments shall be addressed at requisite permit stage.*

RESULT:	APPROVED WITH CONDITIONS [UNANIMOUS]
MOVER:	Arie Kohn, Board Member
SECONDER:	Phiffer Reed, Board Member
IN FAVOR:	Mark Stovall, Michael Guobaitis, Arie Kohn, Phiffer Reed
ABSENT:	Jeffrey Green, Ian Atkinson

III. Approval of Minutes**2. September 2, 2025, DRB Minutes**

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Michael Guobaitis, Board Member
SECONDER:	Phiffer Reed, Board Member
IN FAVOR:	Mark Stovall, Michael Guobaitis, Arie Kohn, Phiffer Reed
ABSENT:	Jeffrey Green, Ian Atkinson

IV. Adjournment

There being no further comments or discussion the meeting was adjourned at 7:00 PM